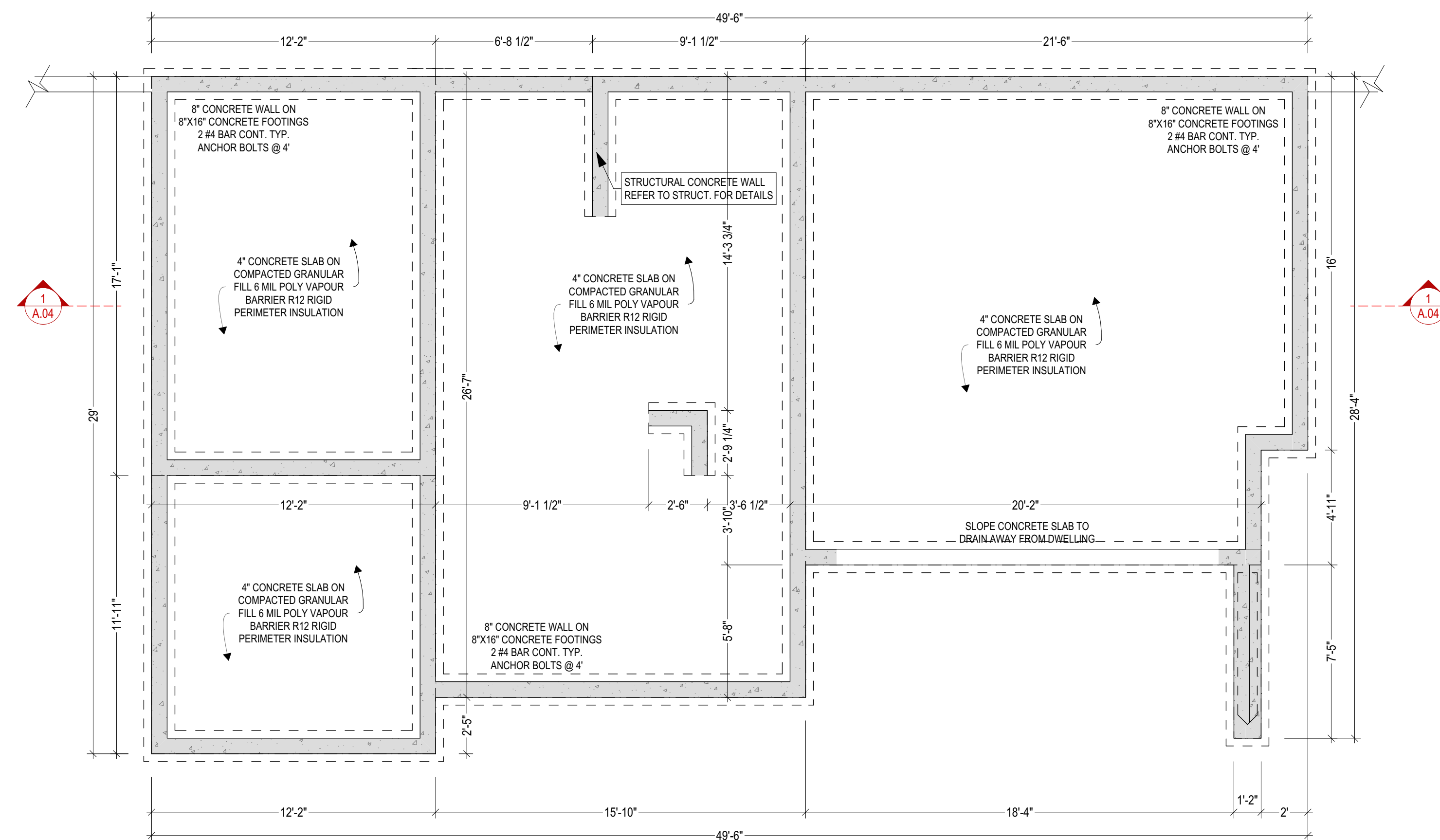
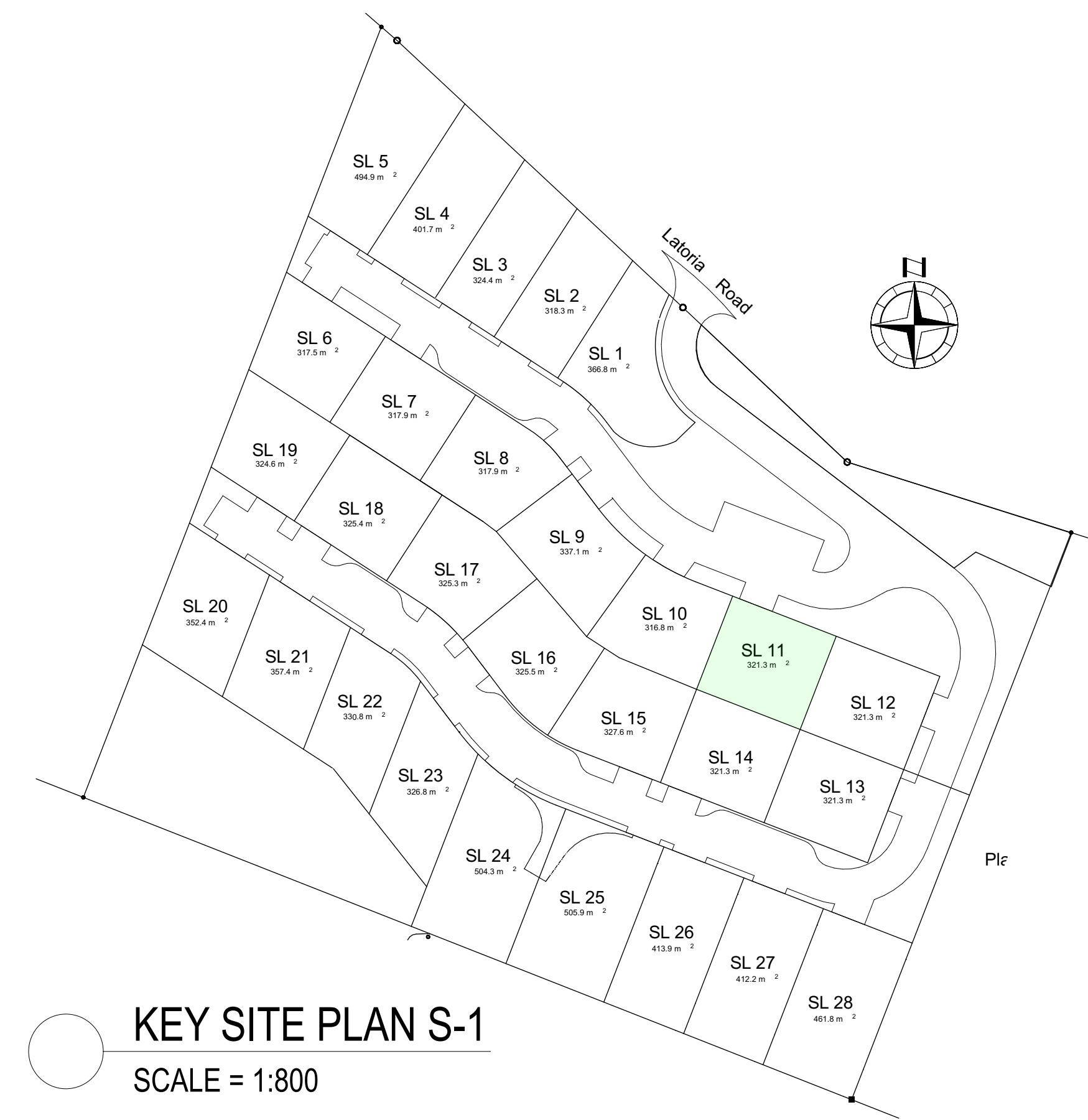


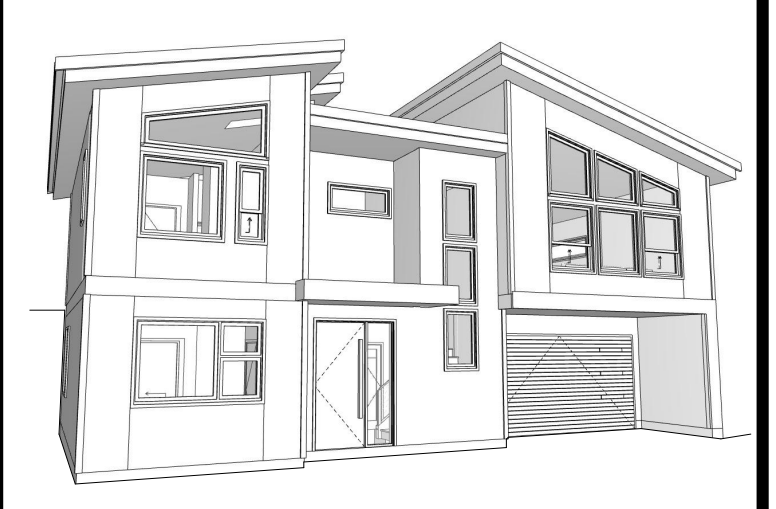
**SITE PLAN S-2**  
SCALE: 3/16" = 1' - 0"

LANGFORD - SINGLE FAMILY DWELLING PROPOSED		
ADDRESS	757 LATORIA ROAD (Lot 11)	
LOT SIZE	321.3m <sup>2</sup> (3,548.4 ft <sup>2</sup> )	
ZONING	R2	
LOT COVERAGE	PROPOSED	ALLOWED
LOT COVERAGE FOR LOTS LESS THAN 550m <sup>2</sup>	39.70% 127.57m <sup>2</sup> (1,375.28ft <sup>2</sup> )	50% 160.65m <sup>2</sup> (1,774.2ft <sup>2</sup> )
SETBACKS		
FRONT LOT LINE (HOUSE)	3.06m (10.04ft)	3.0m (9.8ft)
FRONT LOT LINE (GARAGE)	5.53m (18.13ft)	5.50m (18ft)
REAR LOT LINE	5.10m (16.73ft)	4.50m (14.76ft) RELAXATION APPROVED
INTERIOR SIDE	1.55m (5.10ft)	1.5m (4.92ft)
INTERIOR SIDE	2.26m (7.41ft)	1.5m (4.92ft)
HEIGHT		
HIGHEST ROOF MID POINT	5.80m (19.03ft)	9.0m (29.5ft)
HIGHEST FLAT ROOF HEIGHT	5.18m (17.01ft)	9.0m (29.5ft)
FLOOR AREA		
TOTAL LOWER FLOOR AREA	66.11m <sup>2</sup> (711.59ft <sup>2</sup> )	
TOTAL MAIN FLOOR AREA	121.42m <sup>2</sup> (1,306.9ft <sup>2</sup> )	
GARAGE AREA	41.84m <sup>2</sup> (450.33ft <sup>2</sup> )	
MECHANICAL ROOM AREA <small>NOT INCLUDED IN AREA</small>	4.80m <sup>2</sup> (51.71ft <sup>2</sup> )	
TOTAL GROSS FLOOR AREA	229.37m <sup>2</sup> (2,468.79ft <sup>2</sup> )	
FLOOR AREA RATIO (FAR)	0.713 229.37m <sup>2</sup> (2,468.79ft <sup>2</sup> )	
*VARIANCES REQUIRED*		



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02	04MAR22 ISSUED FOR ENGINEERING

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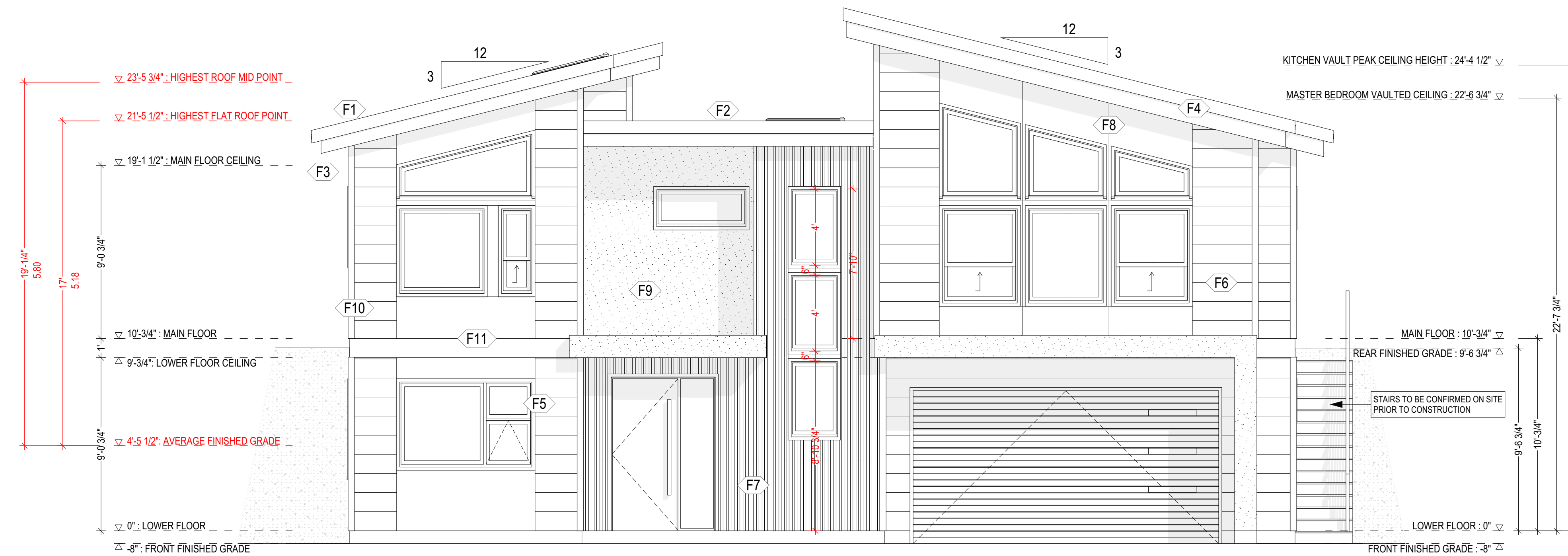


PROJECT TITLE  
**BTH CONSTRUCTION LTD.**

**LOT 11 'WINDFIELD'**  
757 LATORIA ROAD  
SUBDIVISION  
LANGFORD, BC

DRAWING TITLE  
**SITE PLAN AND FOUNDATION**

DATE	PROJECT NO.	SHEET NUMBER
04MAR22	1048	A.01
DRAWN BY NH	REVIEWED BY CL	
SCALE SEE DRAWINGS		

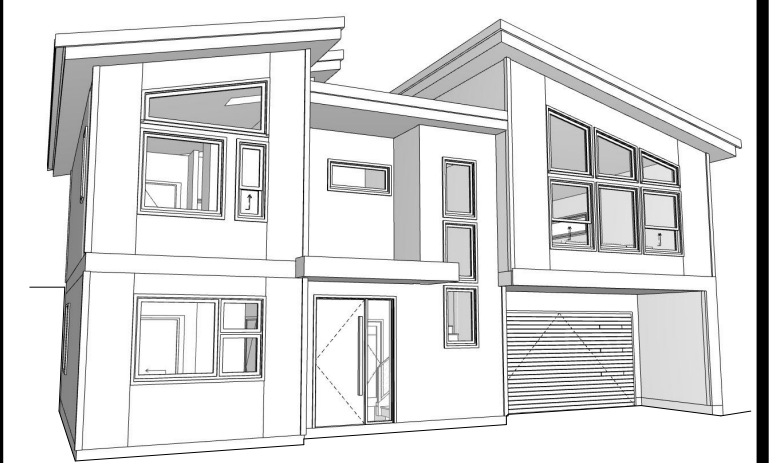


**FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"

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IF YOU CAN DREAM IT, WE CAN DESIGN IT  
**CARMA**  
 DESIGN GROUP  
 250-858-0778  
 www.carmaingroup.ca  
 info@carmaingroup.ca

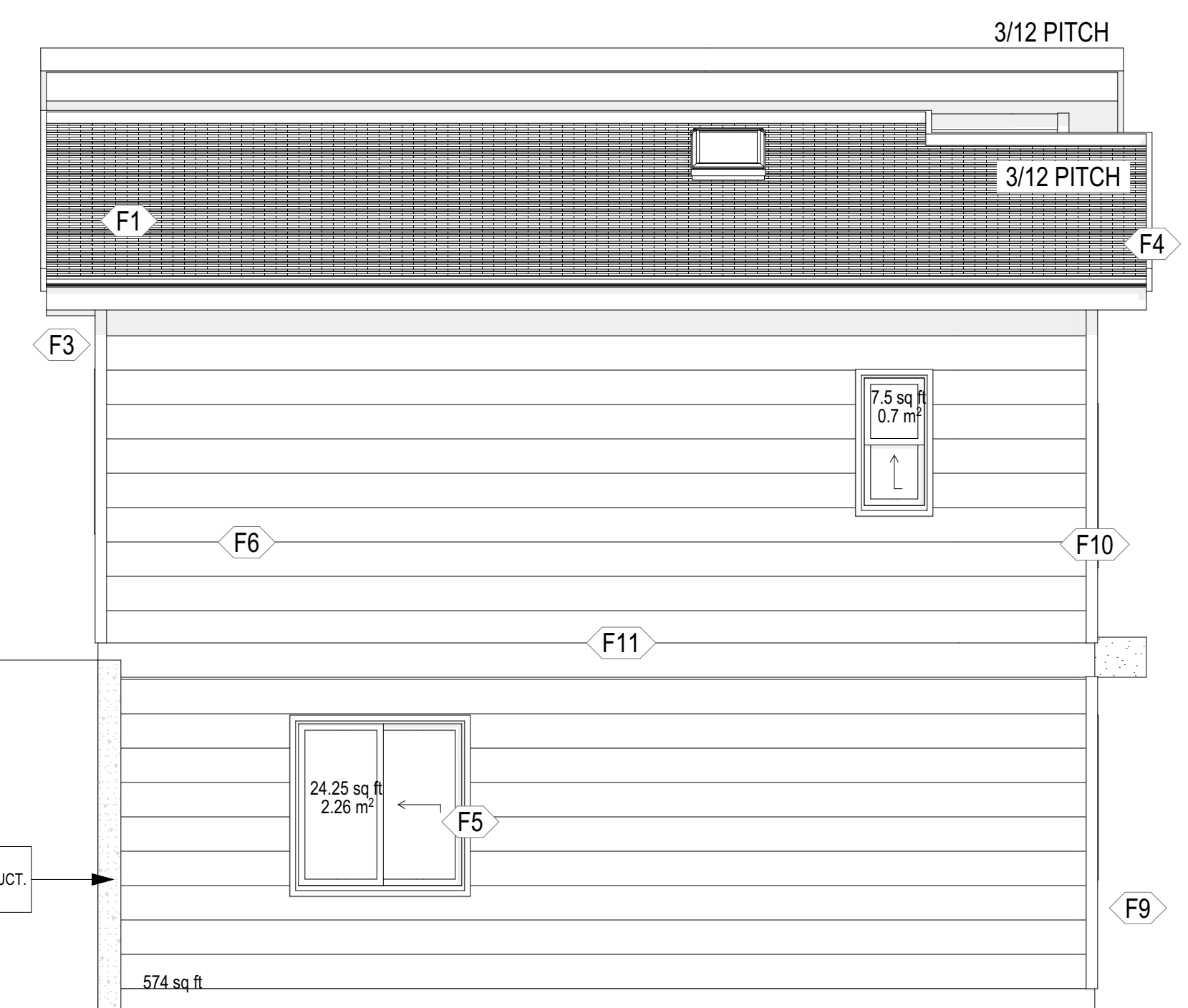
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PROJECT TITLE  
**BTH CONSTRUCTION LTD.**  
 LOT 11 'WINDFIELD'  
 757 LATORIA ROAD  
 SUBDIVISION  
 LANGFORD, BC

DRAWING TITLE  
 ELEVATIONS

DATE	PROJECT NO.	SHEET NUMBER
04MAR22	1048	A.02
DRAWN BY NH	REVIEWED BY CL	
SCALE SEE DRAWINGS		

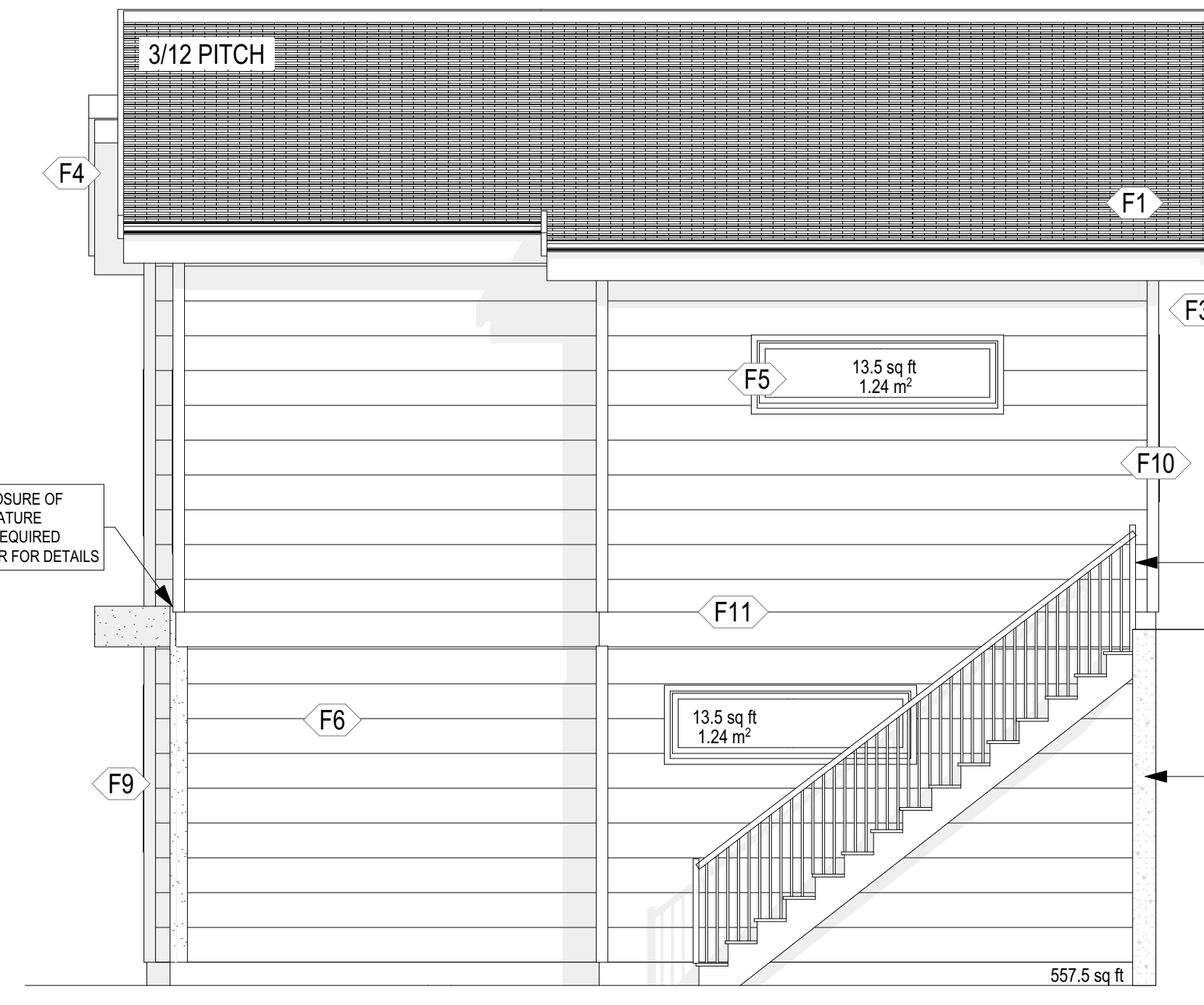


**LEFT ELEVATION**  
SCALE: 1/4" = 1' - 0"

LIMITING DISTANCE	1.55	m
EXPOSED BUILDING FACE	53.32	sq m
ALLOWABLE OPENINGS	8.05	%
(as per Table 9.10.15.4)		
ALLOWABLE OPENING AREA	4.29	sq m
PROPOSED OPENINGS	2.96	sq m

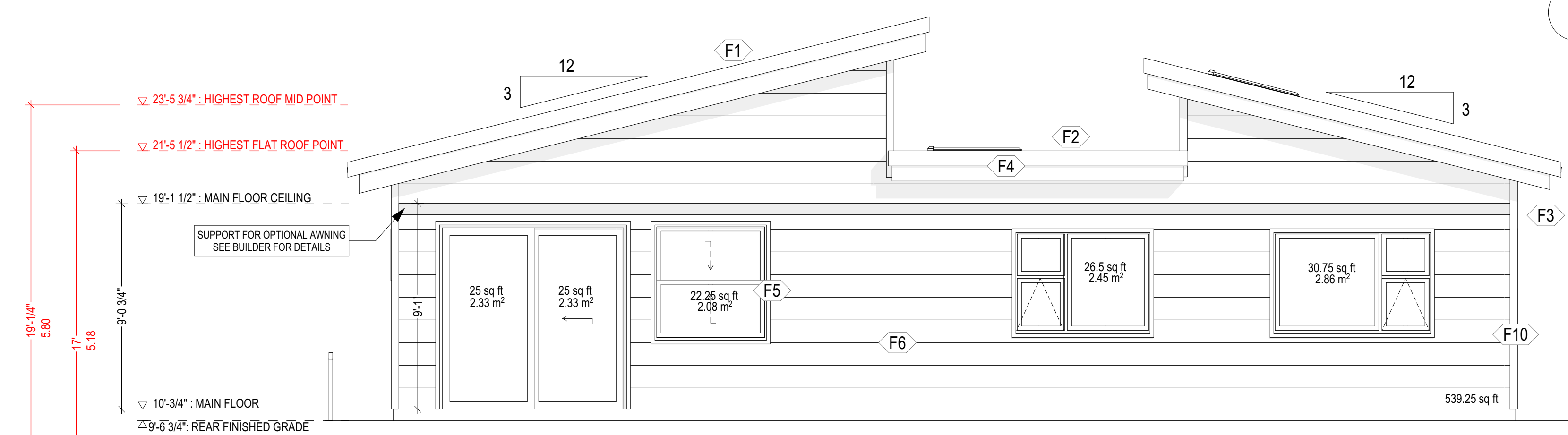
**EXTERIOR FINISH MATERIALS LEGEND**

- F1 ROOFING 1: ASPHALT SHINGLES
- F2 ROOFING 2: BUILT UP TORCH-ON
- F3 GUTTER AND SOFFIT: ALUMINUM GUTTER AND VENTED SOFFIT
- F4 BARGE BOARD: 2X12 SPF BOARD WITH 2X8 SPF TRIM AT TOP
- F5 WINDOWS AND DOOR TRIM: 1X2 TRIM BOARDS
- F6 WALL FINISH 1: CONCRETE FIBRE BOARD LAPPED TO 12" EXPOSURE
- F7 WALL FINISH 2: CORRUGATED METAL SIDING RAINSCREEN AS PER BCBC
- F8 WALL FINISH 3: HARDIE PANEL WITH EASY TRIM
- F9 WALL FINISH 4: STUCCO (ACRYLIC FINISH)
- F10 CORNER TRIM: 1X4 CORNER BOARDS
- F11 BELLY BAND: 2X12 BELLY BAND WITH METAL FLASHING



**RIGHT ELEVATION**  
SCALE: 1/4" = 1' - 0"

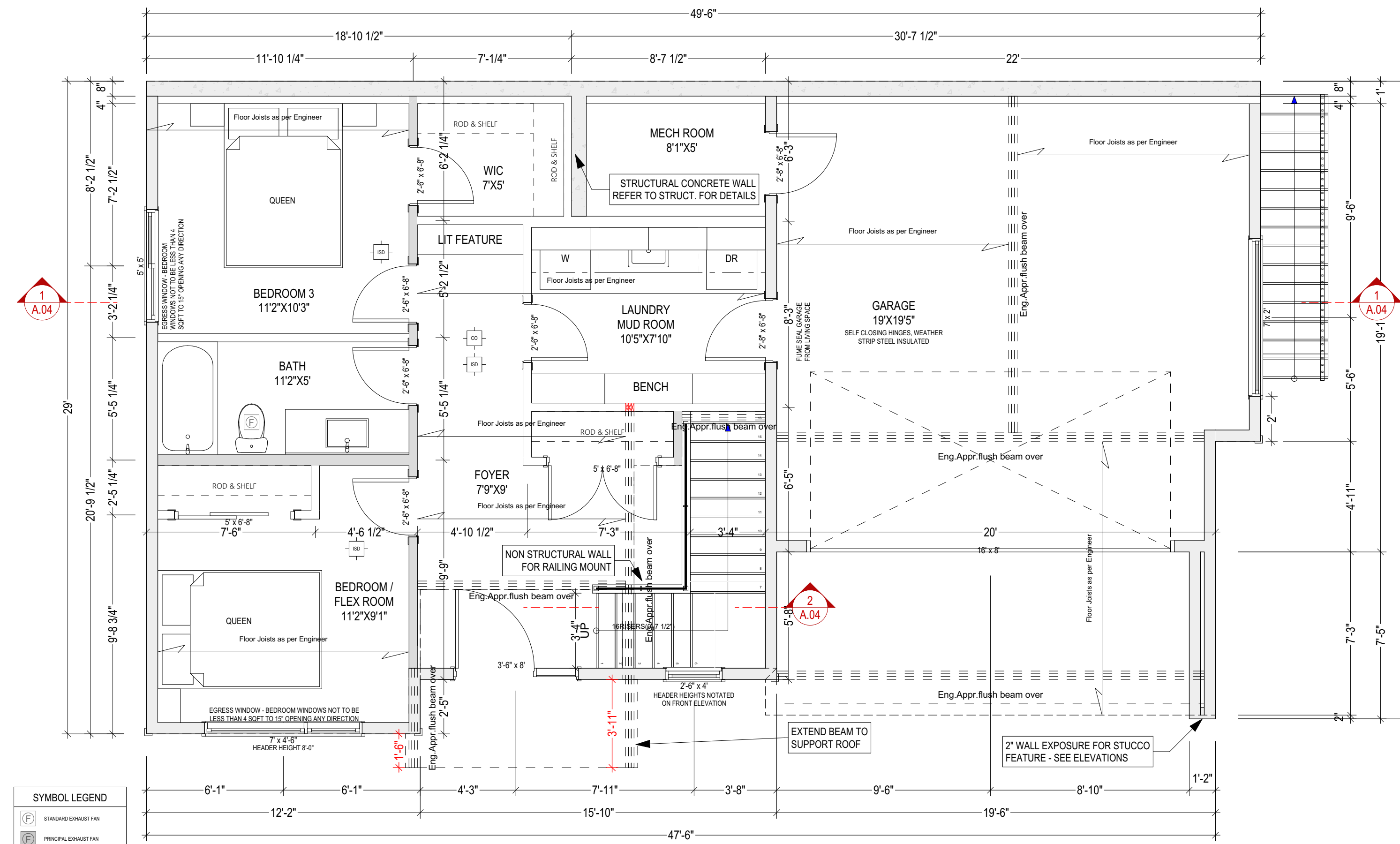
LIMITING DISTANCE	2.26	m
EXPOSED BUILDING FACE	51.79	sq m
ALLOWABLE OPENINGS	12.25	%
(as per Table 9.10.15.4)		
ALLOWABLE OPENING AREA	6.34	sq m
PROPOSED OPENINGS	2.48	sq m



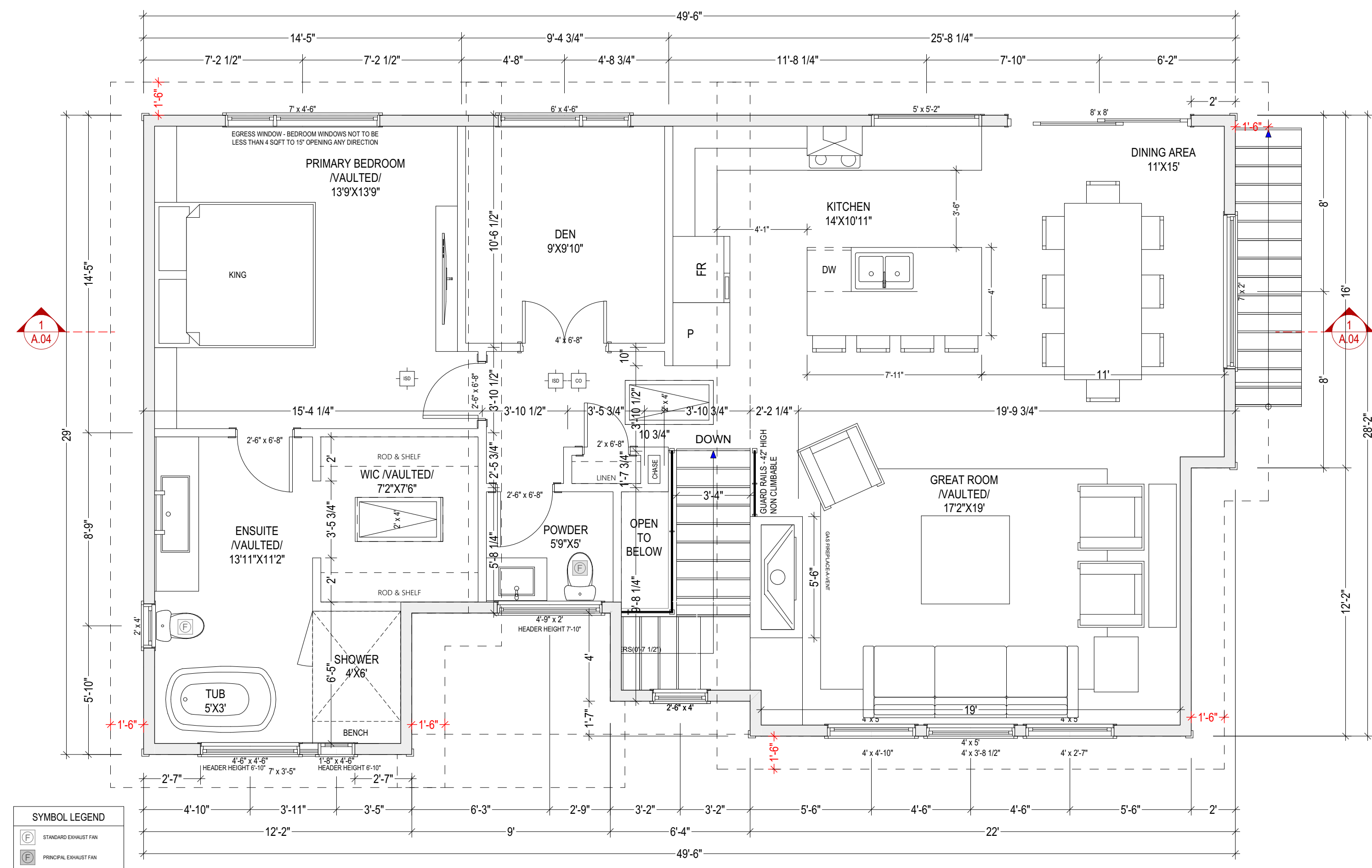
**REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"

LIMITING DISTANCE	5.10	m
EXPOSED BUILDING FACE	50.09	sq m
ALLOWABLE OPENINGS	42.50	%
(as per Table 9.10.15.4)		
ALLOWABLE OPENING AREA	21.29	sq m
PROPOSED OPENINGS	12.05	sq m





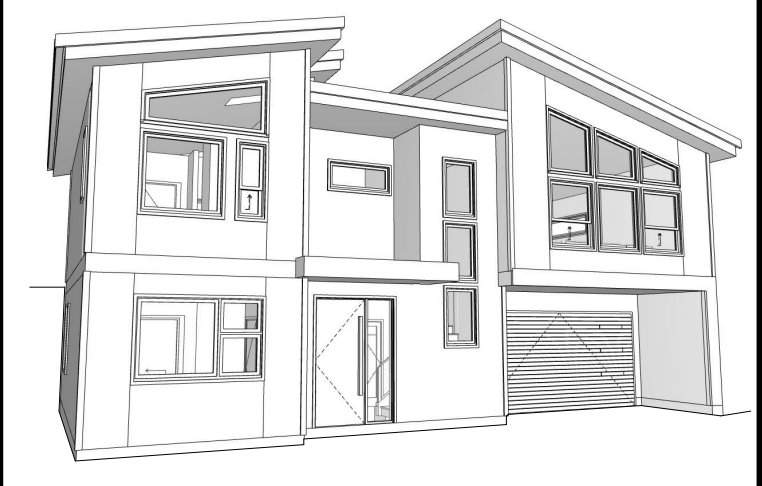
LOWER FLOOR PLAN (9'-0 3/4" CEILING HEIGHT) LOWER FLOOR AREA: 711.56 sq ft (66.11m<sup>2</sup>)  
 GARAGE AREA: 450.33 sq ft (41.84m<sup>2</sup>)  
 MECHANICAL ROOM: 51.71 sq ft (4.8m<sup>2</sup>)  
 SCALE: 1/4" = 1' - 0"



MAIN FLOOR PLAN (9'-0 3/4" CEILING HEIGHT) MAIN FLOOR AREA: 1,306.9 sq ft (121.42m<sup>2</sup>)  
 SCALE: 1/4" = 1' - 0"

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**BTH CONSTRUCTION LTD.**

**LOT 11 'WINDFIELD'**  
 757 LATORIA ROAD  
 SUBDIVISION  
 LANGFORD, BC

DRAWING TITLE  
**LOWER FLOOR AND MAIN FLOOR PLAN**

DATE	PROJECT NO.	SHEET NUMBER
04MAR22	1048	A.03
DRAWN BY NH	REVIEWED BY CL	
SCALE SEE DRAWINGS		



**TOTAL EFFECTIVE RSI FOR SKYLIGHT SHAFTS**

Exterior Air Film	0.03
2x6 Wood studs @ 24" O.C. with R-20 Batt insulation	2.45
$RSI_p=100/((20/1.19)+(80/3.34)) = 2.45$	
6 MIL Poly Vapour Barrier	0
7/16" OSB Sheathing	0.11
1/2" Gypsum Board	0.08
Interior Air Film	0.12
<b>RSI=2.79</b>	

**TOTAL EFFECTIVE RSI CEILING BELOW ATTIC**

Asphalt Shingles	0
Building Paper	0
1/2" Sheathing	0.03
Exterior Air Film	0.03
R40 Blown Fibreglass Insulation	5.38
Wood Trusses @ 24" O.C.	1.47
$RSI_p=100/((11/0.76)+(89/1.67)) = 1.47$	
6 MIL Poly Vapour Barrier	0
1/2" Gypsum Board	0.08
Interior Air Film	0.11
<b>RSI=7.07</b>	

**TOTAL EFFECTIVE RSI CEILING BELOW ATTIC**

Built-Up Torch-On Roofing	0
Building Paper	0
3/4" Sheathing	0.16
Exterior Air Film	0.03
R40 Blown Fibreglass Insulation	5.3
Wood Trusses @ 24" O.C.	1.47
$RSI_p=100/((11/0.76)+(89/1.67)) = 1.47$	
6 MIL Poly Vapour Barrier	0
1/2" Gypsum Board	0.08
Interior Air Film	0.11
<b>RSI=7.23</b>	

**TOTAL EFFECTIVE RSI FOR EXTERIOR WALLS AGAINST LOWER ROOF**

Exterior Air Film	0.03
7/16" OSB Sheathing	0.11
2x6 Wood Studs @ 16" O.C. with R-22 Batt insulation	2.55
$RSI_p=100/((23/1.19)+(77/3.87)) = 2.55$	
6 MIL Poly Vapour Barrier	0
1/2" Gypsum Board	0.08
Interior Air Film	0.12
<b>RSI=2.89</b>	

**TOTAL EFFECTIVE RSI FOR EXTERIOR WOOD FRAMED WALLS ABOVE GRADE**

Exterior Air Film	0.03
Fibre-Cement Siding	0.03
1/2" Rain Screen Air Cavity	0.16
Building Paper	0
7/16" OSB Sheathing	0.11
2x6 Wood studs @ 16" O.C. with R-20 Batt insulation	2.36
$RSI_p=100/((23/1.19)+(77/3.34)) = 2.36$	
6 MIL Poly Vapour Barrier	0
1/2" Gypsum Board	0.08
Interior Air Film (wall)	0.12
<b>RSI=2.89</b>	

**TOTAL EFFECTIVE RSI FOR HOUSE TO GARAGE WALLS**

Exterior Air Film	0.03
1/2" Gypsum Board	0.08
2x6 Wood Studs @ 16" O.C. with R-20 Batt insulation	2.36
$RSI_p=100/((23/1.19)+(77/3.34)) = 2.36$	
6 MIL Poly Vapour Barrier	0
1/2" Gypsum Board	0.08
Interior Air Film	0.12
<b>RSI=2.67*</b>	

**TOTAL EFFECTIVE RSI FOR WALLS BELOW GRADE**

Damp Proofing	0
8" Poured-In Place Concrete	0
2.5" R12 Rigid Insulation	2.11
2x4 Wood Studs @ 16" O.C.:	0.76
6 MIL Poly V.B.:	0
1/2" Gypsum Board:	0.08
Interior Air Film:	0.11
<b>RSI=3.06</b>	

**TOTAL EFFECTIVE RSI FLOOR OVER GARAGE**

Exterior Air Film	0.03
1/2" Gypsum Board	0.08
2x12 Wood Joists @ 16" O.C. with R31 Batt insulation	4.70
$RSI_p=100/((13/2.43)+(87/5.46)) = 4.70$	
3/4" Sheathing	0.161
Interior Air Film	0.16
<b>RSI=5.131</b>	

**TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (OUTSIDE)**

Exterior Air Film	0.03
Aluminum Soffit	0
2x12 Wood Joists @ 16" O.C. with R31 Batt insulation	4.70
$RSI_p=100/((13/2.43)+(87/5.46)) = 4.70$	
3/4" Sheathing	0.161
Interior Air Film	0.16
<b>RSI=5.05</b>	

**TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FROST LINE**

Interior Air Film	0.11
4" Poured-In Place Concrete	0
2.5" R12 Rigid Insulation	2.11
Exterior Air Film	0.03
<b>RSI=2.25</b>	

**TOTAL EFFECTIVE RSI FOR FOUNDATION WALLS**

Damp Proofing	0
8" Poured-In Place Concrete Foundation Wall (2.5") R12 Rigid Insulation	0.08
<b>RSI=2.19</b>	

**POT LIGHTS**  
RECESSED POT LIGHT HOUSINGS MUST BE SEALED TO POLY VAPOUR BARRIER

**ATTIC HATCH (WHEN APPLICABLE)**  
APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FORM GASKET TO ENSURE PAPER AIR SEALING

**PLUMBING STACKS**  
PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATING TAPE, OR A RUBBER GASKET AT THE CEILING

**WALL TO CEILING**  
ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL

**INTERIOR AND EXTERIOR WALL INTERFACE**  
ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING MUST BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING POLY VAPOUR BARRIER OF THE EXTERIOR WALLS

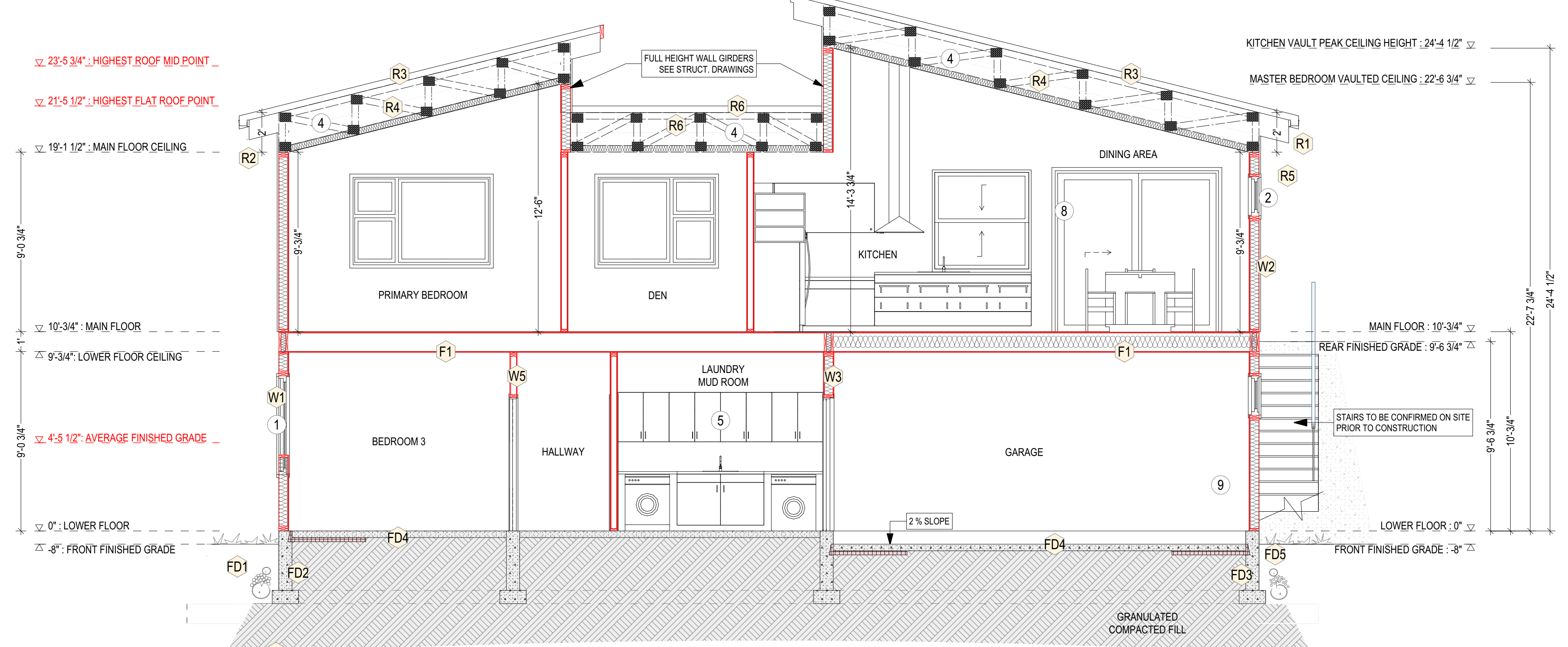
**WINDOW, DOORS AND SKYLIGHTS**  
INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRRIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE OPENING/WINDOW

**SILL PLATES / RIM JOINTS**  
ALL JOISTS AT CAVITIES MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVER WITH AIR BARRIER MATERIAL

PLEASE READ FOR DETAILS

**PRINCIPAL EXHAUST FAN**  
PRINCIPAL EXHAUST FAN LOCATED IN: POWDER ROOM  
CAPACITY: @50 PASCAL AN MIN. VENTILATION RATE OF 28 AS PER 9.32.3.5  
NOTE: MUST BE WIRED TO RUN CONTINUOUSLY, CONTROLLED BY DEDICATED SWITCH, SOUND RATING NOT TO EXCEED 1.0 SONE (SEE TABLE 9.32.3.3.A)

**PRINCIPAL HEAT SOURCE**  
DUCTED HEAT PUMP WITH HRV  
SPECIFICATION AND INSTALLATION TO BE PROVIDED BY QUALIFIED PROFESSIONAL



**CROSS SECTION A-1**  
SCALE: 1/4" = 1' - 0"

**CONSTRUCTION ASSEMBLIES AND NOTES**

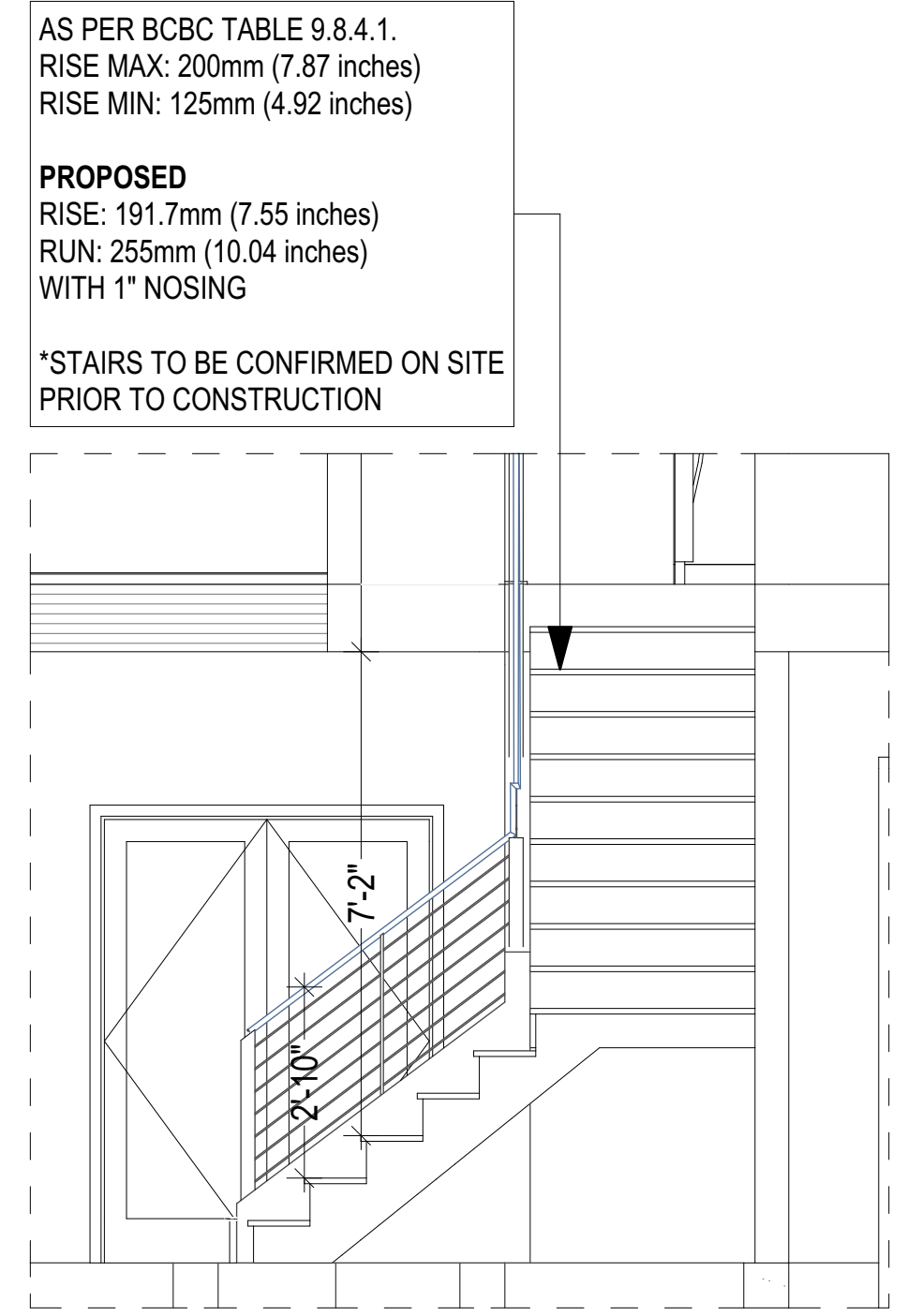
- NOTES**
- ALL WINDOWS TO BE VINYL - RAINSCREEN AS PER BCBC. GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS
  - WINDOWS / DOORS / SKYLIGHTS AND THEIR INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE WINDOW
  - STAIRS: IF SHOWN SHALL HAVE 7 1/2" RISER WITH 10.04" TREAD AND 1" NOSING WITH CONTINUOUS HANDRAIL (SEE STAIR CROSS SECTION)
  - TRUSS SYSTEM INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
  - CABINERY INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
  - 42" NON CLIMBABLE GUARDRAIL (SEE FLOOR PLAN)
  - NON CLIMBABLE CONTINUOUS HANDRAIL - AS PER BCBC (SEE STAIR CROSS SECTION)
  - DOOR PACKAGE DESIGNS INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY - DOOR SIZES INDICATED ON FLOOR PLANS
  - WALL PENETRATIONS : ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY VAPOUR BARRIER
- ALL MECHANICAL, PLUMBING OR ELECTRICAL COMPONENTS WITHIN THE EXTERIOR WALLS AND GARAGE TO HOUSE WALL MUST BE INSULATED TO SAME EFFECTIVE LEVEL AS REQUIRED FOR THE WALL
- IF ELECTRICAL PANEL IS LOCATED IN GARAGE WALLS, USE RIGID INSULATION BEHIND CAVITY TO MAINTAIN SAME EFFECTIVE LEVEL AS GARAGE WALLS

- FOUNDATION CONSTRUCTION**
- FD1** INSTALL PERIMETER DRAIN SYSTEM 4" DRAIN TILE WITH 6" OF ROCK OVER
  - FD2** FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK)
  - FD3** 8" CONCRETE WALL ON 8"x16" CONCRETE FOOTINGS 2 #4 BAR CONT. TYP. ANCHOR BOLTS @ 4'
  - FD4** 4" CONCRETE SLAB WITH RIGID INSULATION 1.2M (3'-11") AROUND PERIMETER ON 6 MIL. POLY VAPOUR BARRIER COMPACTED GRANULAR FILL - ENSURE CONTINUITY OF INSULATION AS PER BCBC 9.36.2.5(2)
  - FD5** SLAB FOUNDATION WALL: THERMAL BREAK 50% OF THE REQUIRED INSULATION THICKNESS - SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL
  - FD6** UNDISTURBED NON-ORGANIC SOIL

- FLOORING SYSTEM**
- F1** FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x12 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) (SEE STRUCTURAL ENGINEER DRAWINGS)
  - F2** FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2x12 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W 11/16" ORIENTED STRAND BOARD VENTED SOFFIT (TO OWNERS SPEC'S) TO ALL SUSPENDED FLOOR AREAS

- WALLS TYPES**
- W1** DOUBLE GLAZING ENERGY STAR LOW "E" RATING THERMAL BREAK FRAMES GLAZING WITHIN 3 FEET FROM EXTERIOR DOORS OR ADJACENT TO TUBS OR SHOWERS TO BE SHATTER PROOF GLAZING WINDOWS AND DOORS TO TO COMPLY WITH BCBC 9.7. AND BCBC TABLE C-5
  - W2** EXTERIOR FINISHES (REFER TO ELEVATIONS) 2" WIDE TREATED PLYWOOD STRAPPING CAPILARY BREAK (10mm MIN THICKNESS) BUILDING WRAP 7/16" OSB SHEATHING 2X6 STUDS (SEE STRUCT FOR SPACING) R-20 BATT INSULATION 6 MIL POLY.N. V.B. 1/2" GYPSUM BOARD
  - W3** GARAGE WALLS ADJACENT TO INTERIOR SPACES 1/2" GYPSUM BOARD (INTERIOR SIDE) 2X6 STUDS (SEE STRUCT FOR SPACING) R-20 BATT INSULATION 6 MIL POLY.N. V.B. 5/8" GYPSUM BOARD (GARAGE SIDE)
  - W4** INTERIOR PARTITION 1/2" GYPSUM BOARD BOTH SIDES MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS 2X4 STUDS (OR 2X6 IF SHOWN)
  - W5** 2X4 FRAMING 16" O.C. TYP. 1/2" DRYWALL FINISH
  - W6** 2X6 FRAMING 16" O.C. TYP. 1/2" DRYWALL FINISH (NOT SHOWN)

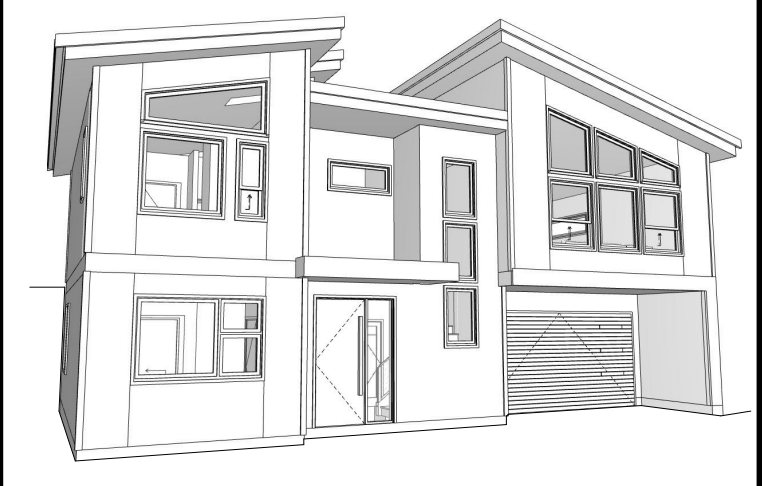
- ROOFING SYSTEM & COMPONENTS**
- R1** CONTINUOUS GUTTERS
  - R2** VENTED SOFFITS ROOF OVERHANGS
  - R3** ASPHALT SHINGLES, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), ENGINEERED TRUSS DESIGNED BY SUPPLIER @ 24" O.C. TYP.
  - R4** PROVIDE ROOF VENTS: VENT 1/150 USING SHINGLEVENT II RIDGE VENT
  - R5** EAVE PROTECTION TO 12" BEYOND HEATED WALL
  - R6** ENG. TRUSSES AS PER MANUF. SPECS. 3/4" PLYWOOD OR EQUAL, TORCH - ON ROOFING. SLOPE TO DRAIN



**STAIR DETAIL**  
SCALE: 3/8" = 1' - 0"

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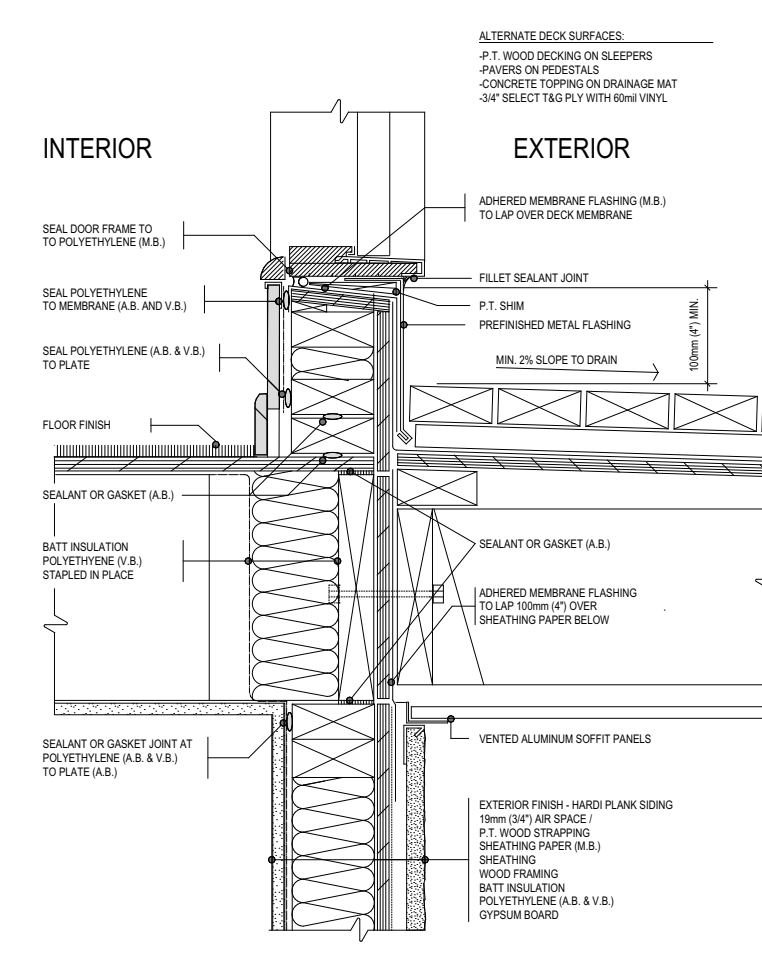
PROJECT TITLE  
**BTH CONSTRUCTION LTD.**

LOT 11 'WINDFIELD'  
757 LATORIA ROAD  
SUBDIVISION  
LANGFORD, BC

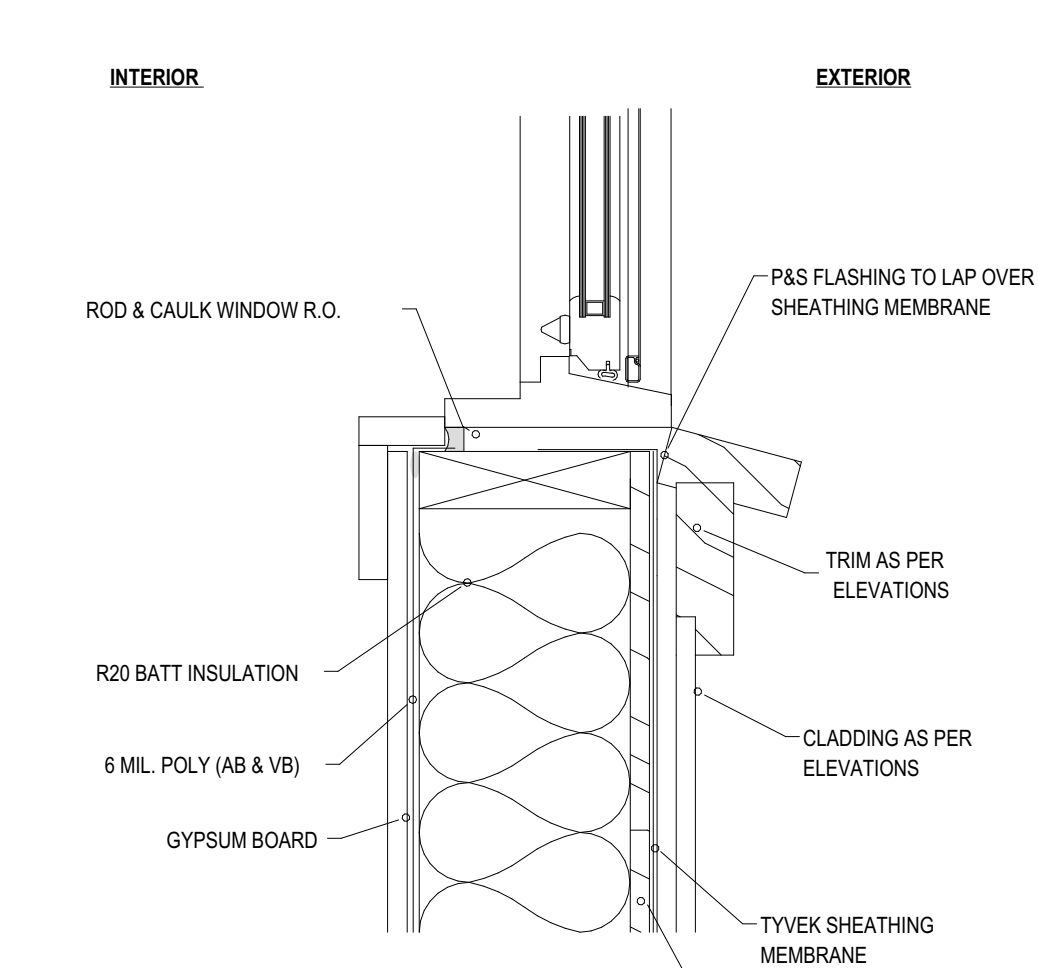
DRAWING TITLE  
CROSS SECTION A-1 AND STAIR DETAIL

DATE	PROJECT NO.	SHEET NUMBER
04MAR22	1048	
DRAWN BY NH	REVIEWED BY CL	A.04
SCALE SEE DRAWINGS		

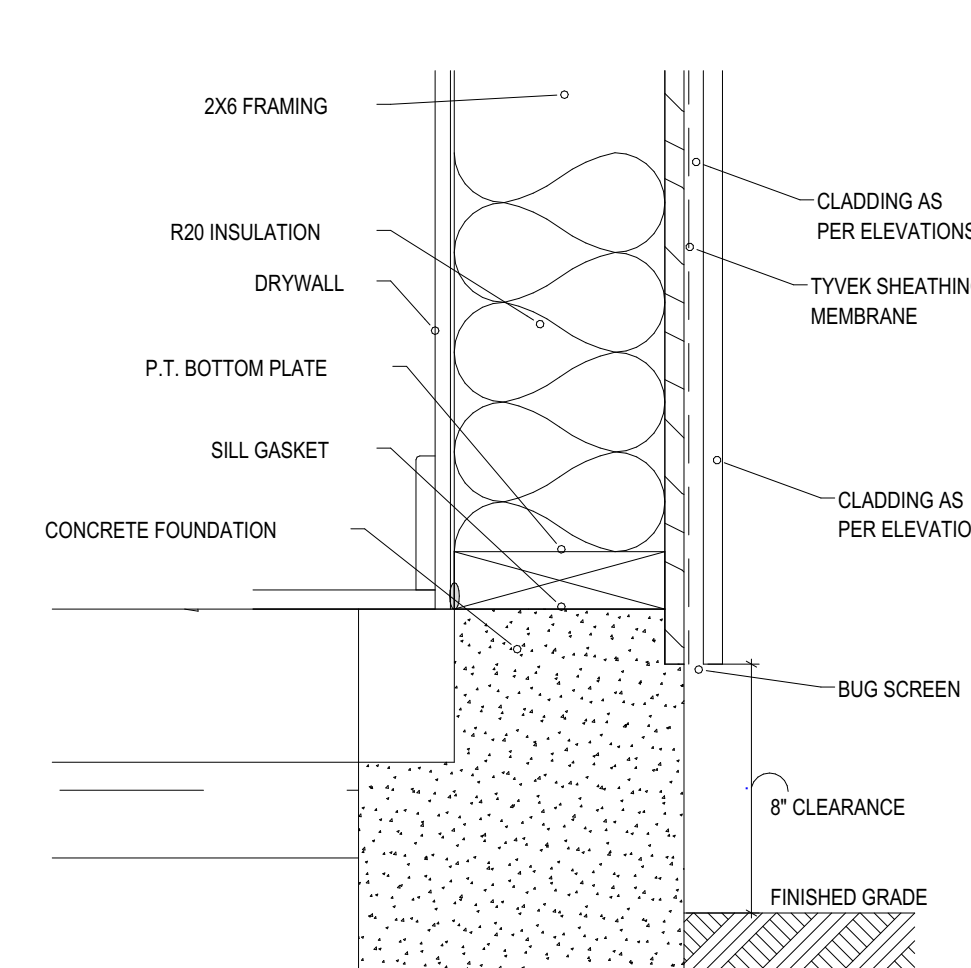




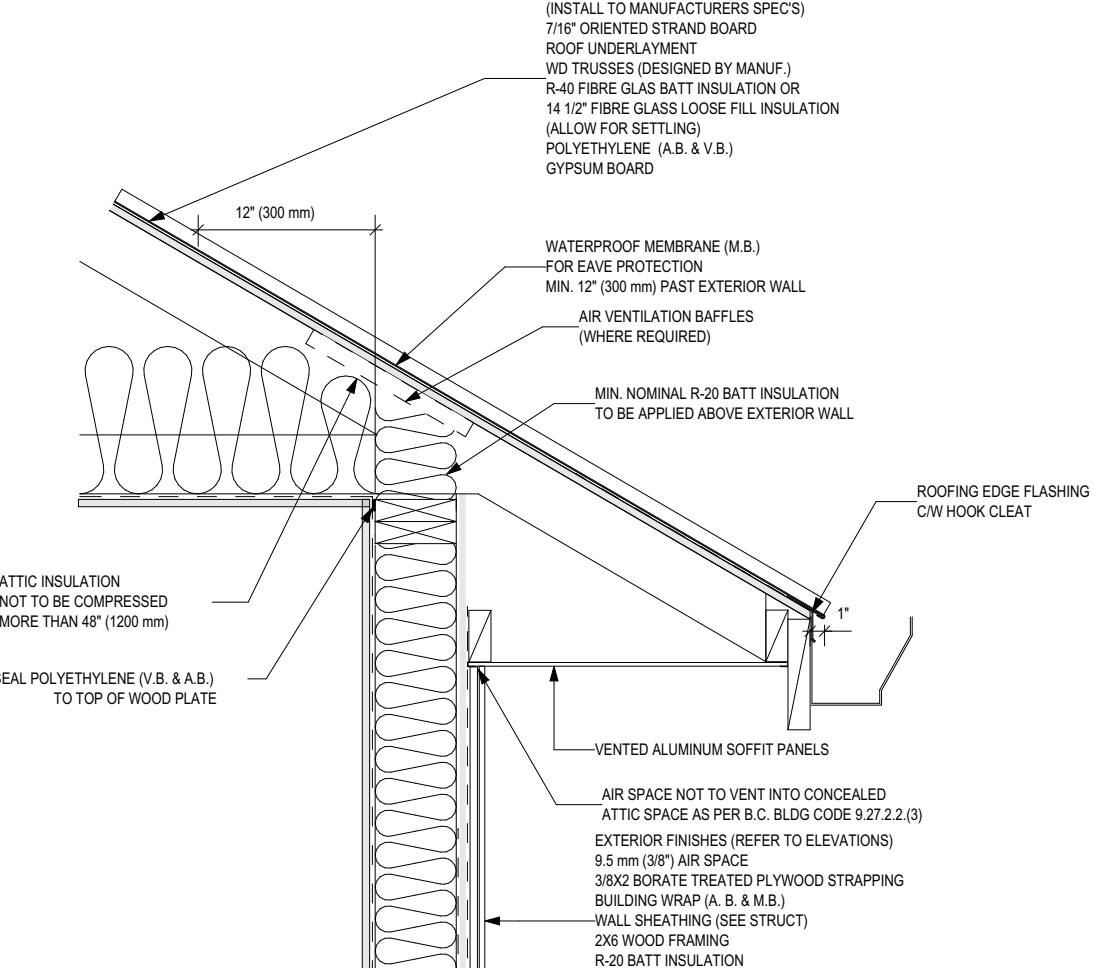
RAISED DOOR SILL



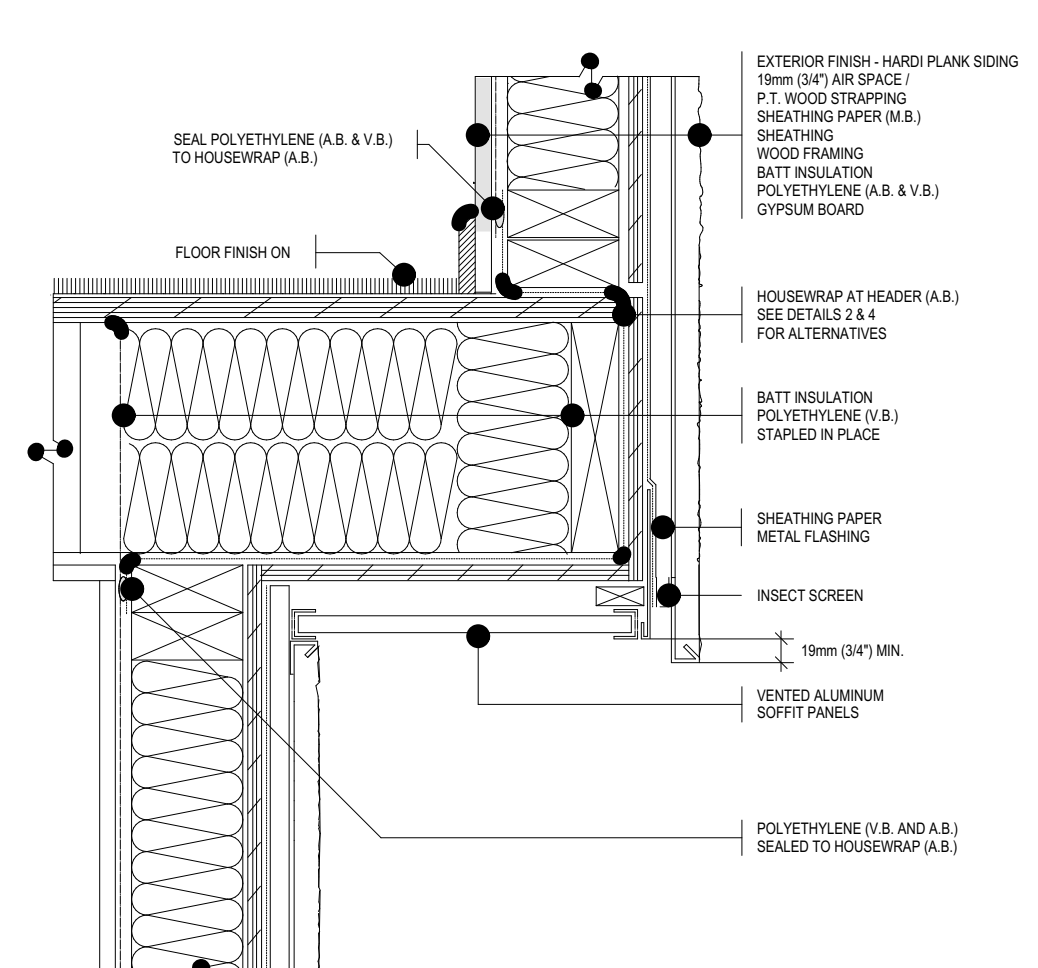
WINDOW JAMB



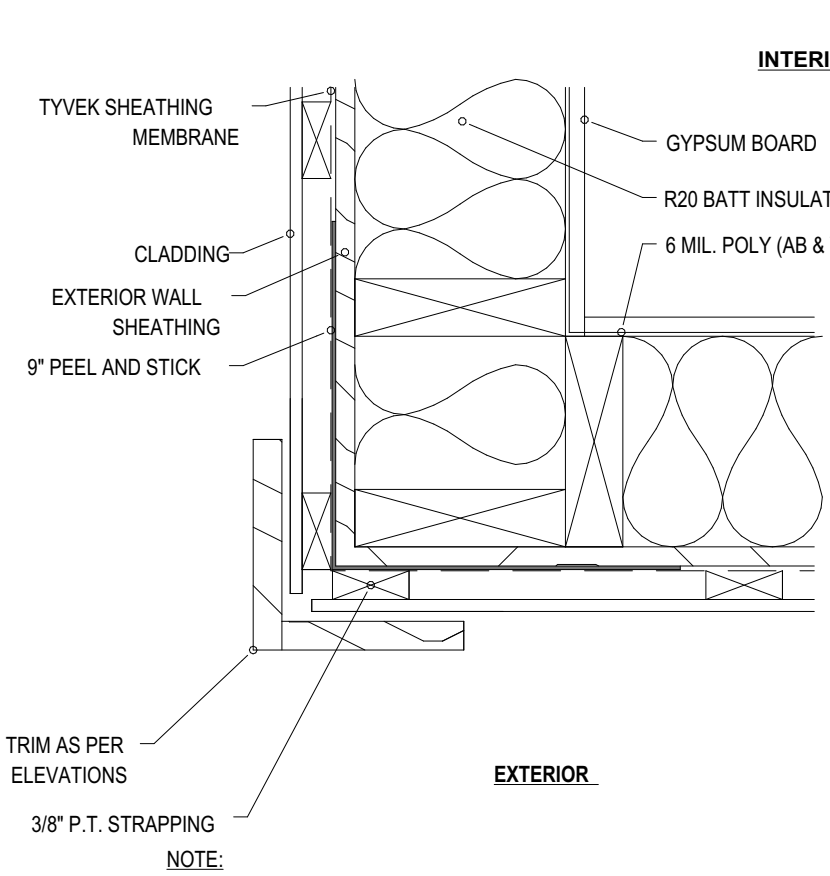
FOUNDATION TO WALL



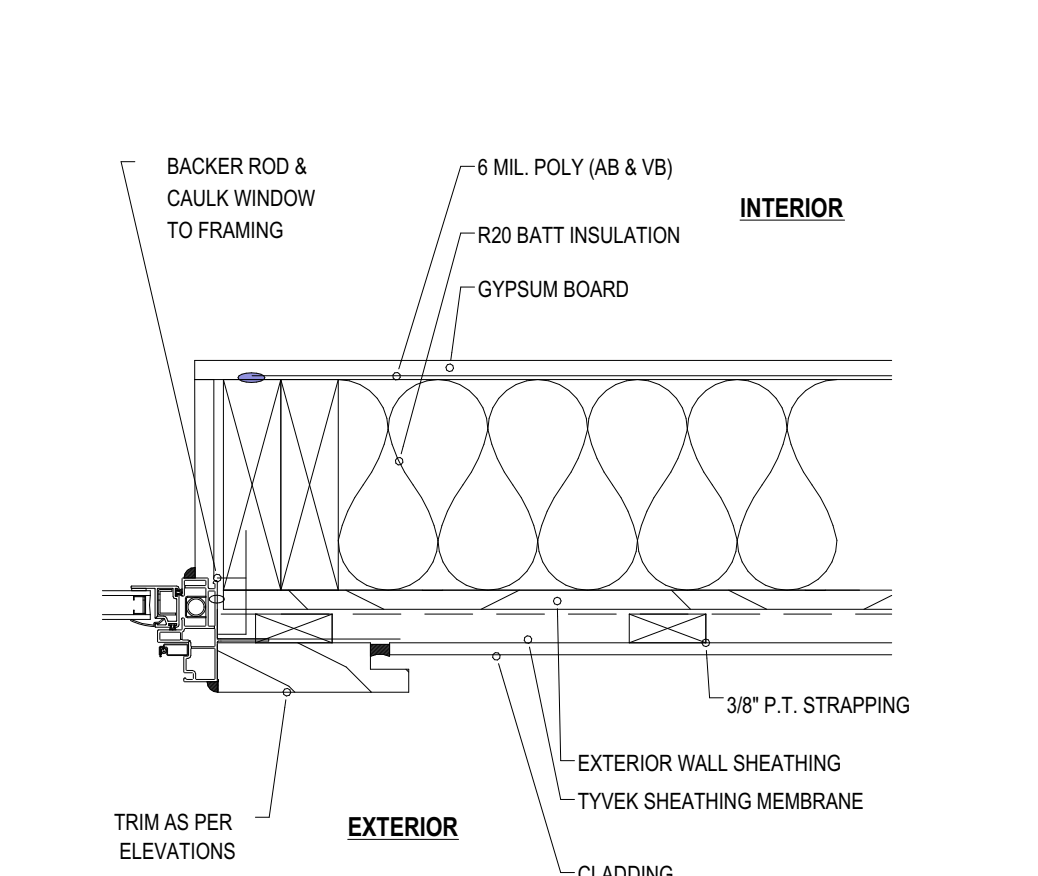
WATER SHEDDING ROOF / WALL



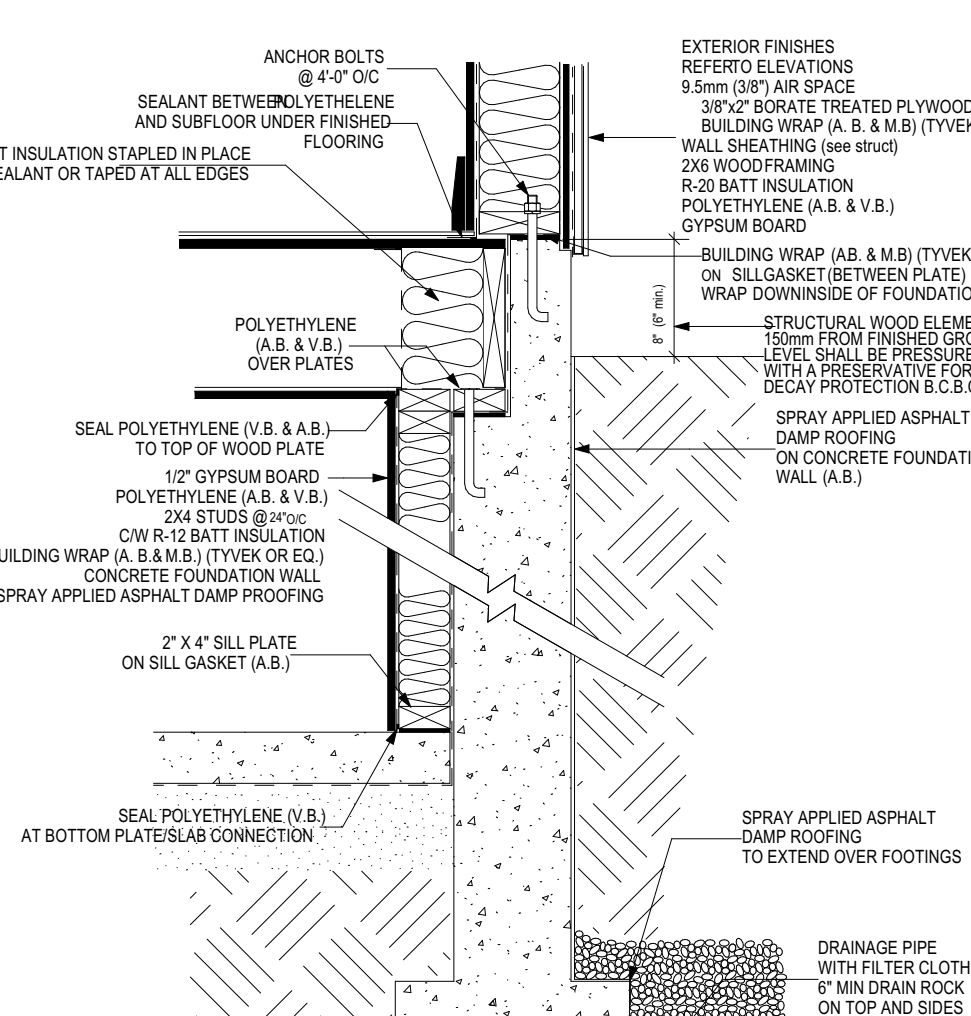
CANTILEVERED FLOOR



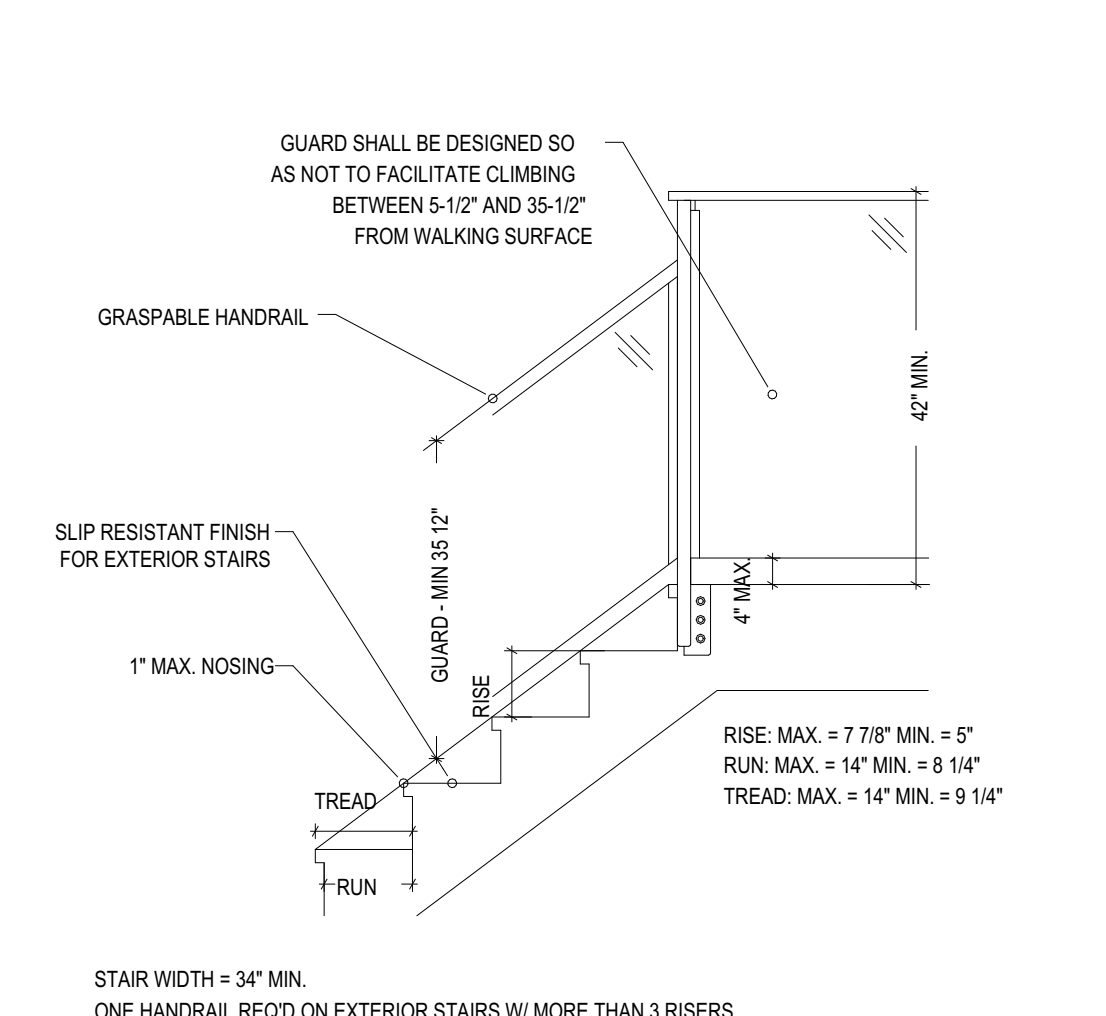
EXTERIOR CORNER



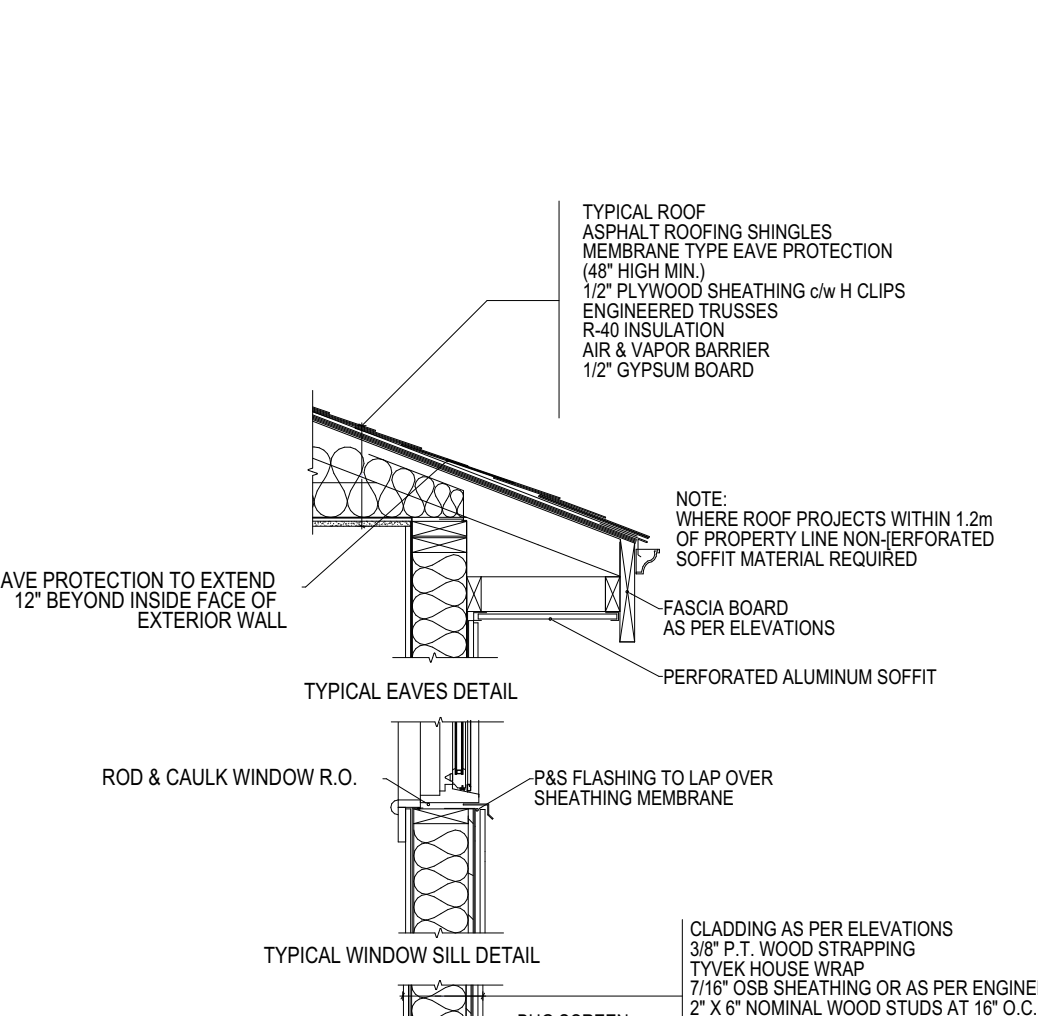
WINDOW PLAN VIEW



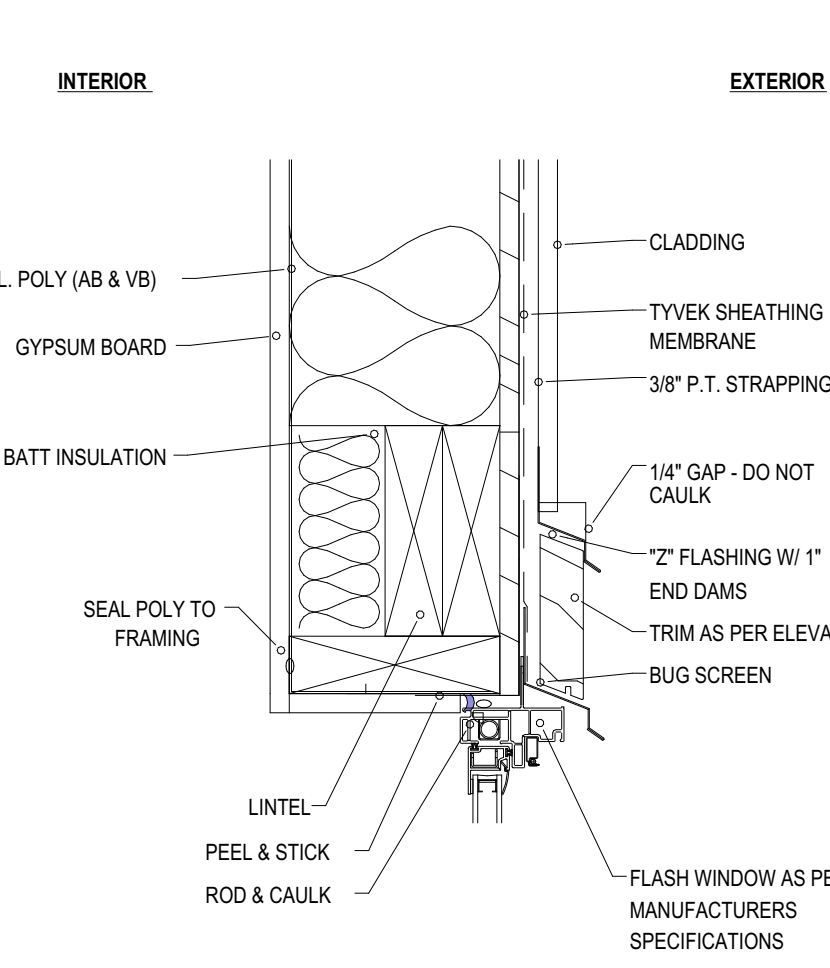
CONCRETE JOIST LEDGE



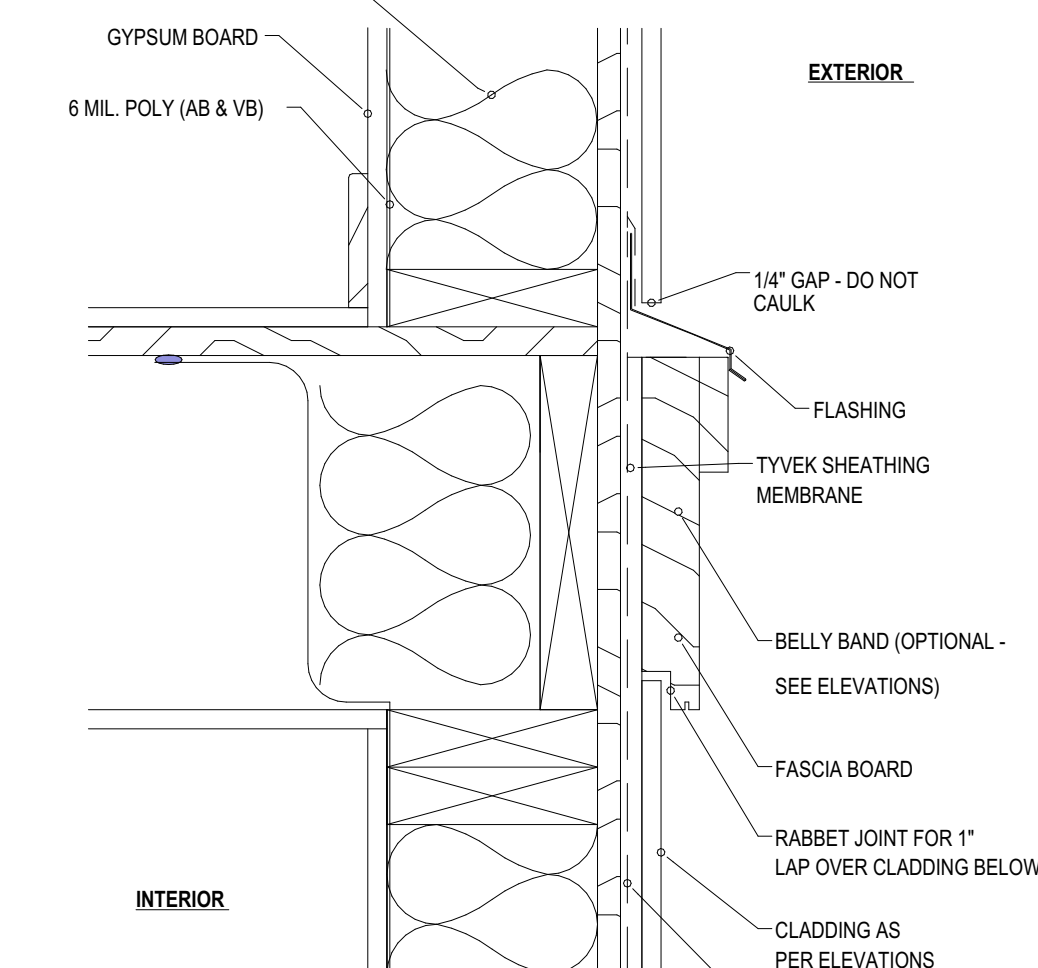
HANDRAIL 3/4" x 10"



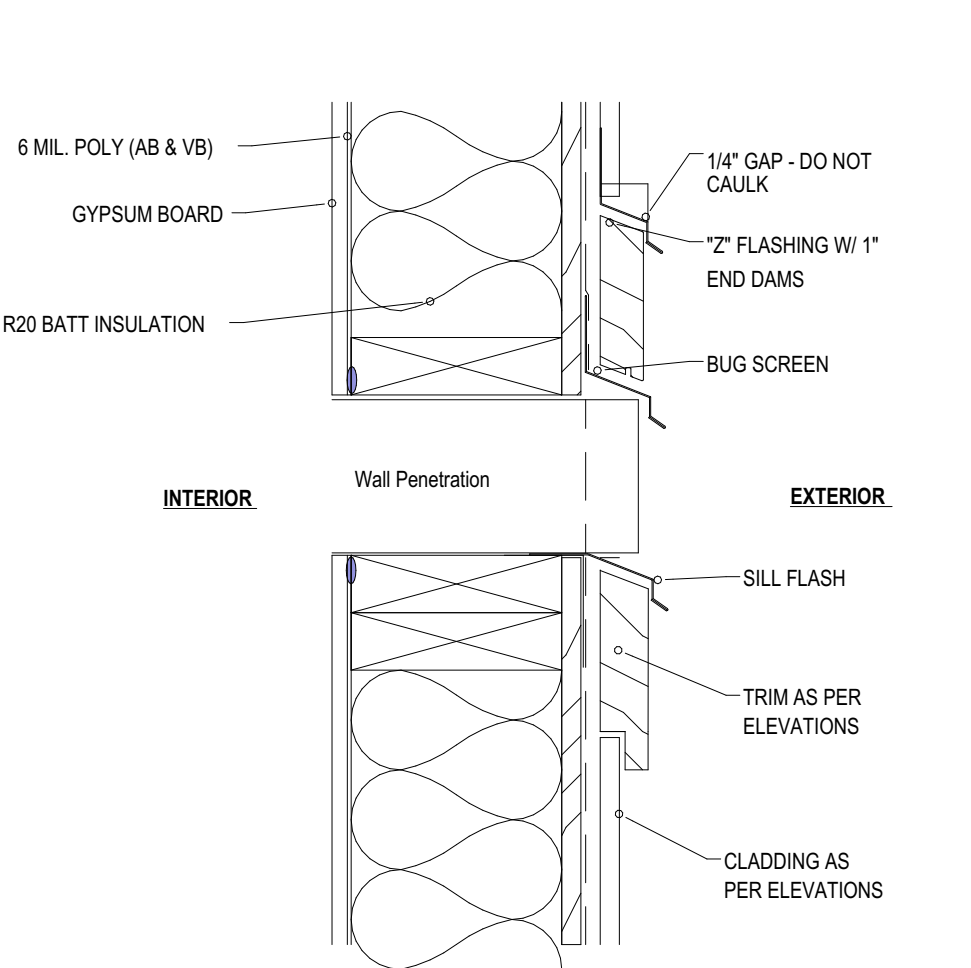
TYPICAL WALL SECTION



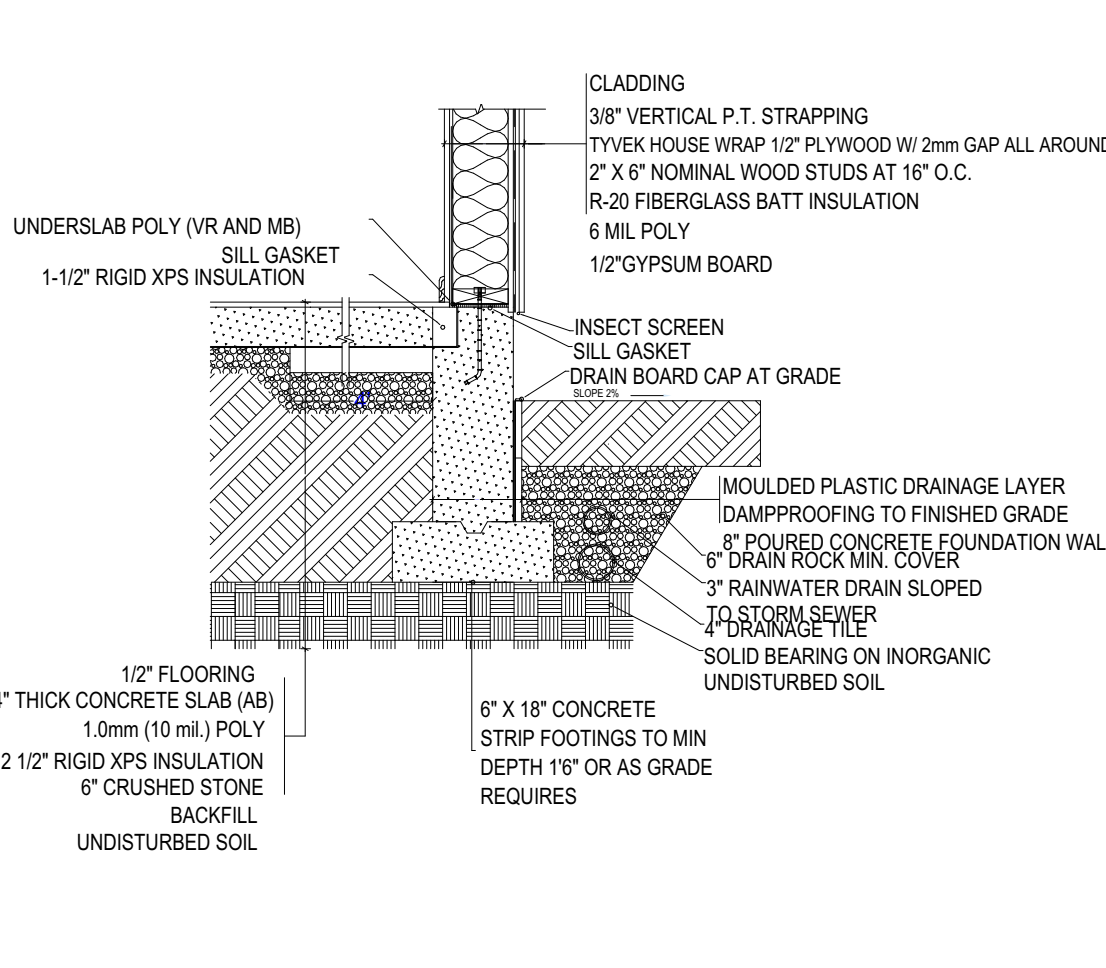
WINDOW HEAD



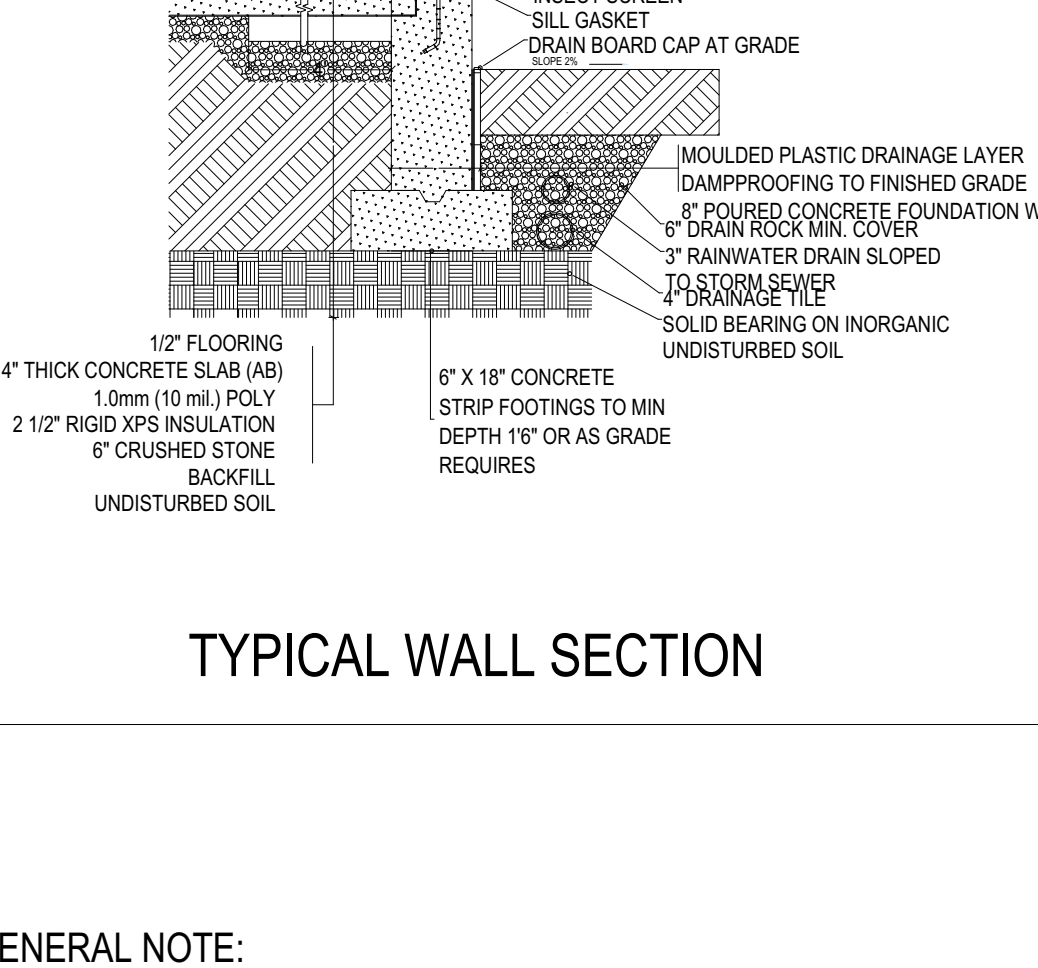
TRIMMER JOIST



WALL PENETRATION



SLAB ON GRADE



TYPICAL WALL SECTION

GENERAL NOTE:  
THESE ARE 'TYPICAL' DETAILS AND DO NOT  
DETAIL EVERY ASPECT OF APPLICATION.  
FOR MORE INFORMATION REFER TO:  
"A REFERENCE GUIDE OF TYPICAL RAINSCREEN WALL &  
WINDOW DETAILS & THE MANUFACTURERS SPECIFICATIONS"

NO.	ISSUED / REVISED
01	24FEB22 ISSUED FOR ENGINEERING REVIEW
02	04MAR22 ISSUED FOR ENGINEERING

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PROJECT TITLE  
**BTH CONSTRUCTION LTD.**  
 LOT 11 'WINDFIELD'  
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 SUBDIVISION  
 LANGFORD, BC

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DETAILS PAGE		
DATE	PROJECT NO.	SHEET NUMBER
04MAR22	1048	
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SCALE		D.00
SEE DRAWINGS		