#### STANDARDS

- THESE DRAWINGS CONFORM TO THE BUILDING CODE IN FORCE IN BRITISH COLUMBIA AT THE TIME OF THEIR PREPARATION. THE OWNER OR BUILDER SHALL ENSURE THAT THE BUILDING CONSTRUCTED FROM THESE DRAWINGS COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CODE IN FORCE AT THE TIME OF ITS CONSTRUCTION AND, ADDITIONALLY, COMPLIES WITH LOCAL BY-LAWS AND REGULATIONS.

- ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THOSE OUT- LINED BY THE CURRENT BRITISH COLUMBIA BUILDING CODE. IN ADDITION, APPLY OR INSTALL ALL MATERIALS AND EQUIPMENT ACCORDING TO THEIR MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

- THE BUILDER SHALL REVIEW AND VERIFY ALL DIMENSIONS, INFORMATION, AND SPECIFICATIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

- RESOLUTION OF VARIANCES FROM THE DRAWINGS OR SPECIFICATIONS CAUSED BY EXTENUATING CIRCUMSTANCES SUCH AS UNAVAILABILITY OF MATERIALS, UNUSUAL SITE CONDITIONS, OWNER PREFERENCES, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE BUILDER AND/OR OWNERS.

- THE BUILDER SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.

- THE BUILDER SHALL TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.

- THESE DRAWINGS SHOW THE DESIGN INTENT OF THE COMPLETED BUILDING. THEY DO NOT NECESSARILY INDICATE TEMPORARY STRUCTURES SUCH AS CONCRETE FORM-WORK OR TEMPORARY BRACING, SEQUENCE OF CONSTRUCTION, ASSEMBLY PROCEDURES, ETC.

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.

- HORIZONTAL DIMENSIONS ARE TAKEN AT THE FACE OF SHEATHING OR CONCRETE ON EXTERIOR WALLS AND AT THE FACE OR CENTRE-LINE OF STUDS OR CONCRETE AS INDICATED ON INTERIOR WALLS. VERTICAL DIMENSIONS ARE TAKEN AT TOP OF CONCRETE SLAB, FLOOR SHEATHING, OR WALL PLATE AS INDICATED.

- ROOM SIZES, IF INDICATED ON THE PLANS, ARE NOMINAL ONLY. MEASURE ACTUAL SITE CONDITIONS BEFORE ORDERING MATERIALS OR EQUIPMENT THAT ARE DEPENDENT ON EXACT SIZES.

- IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

#### SITE WORK

- THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE OWNER OR BUILDER SHALL TAKE MEASURES TO INDICATE AND PROTECT ANY EXISTING VEGETATION OR OTHER NATURAL OR MAN-MADE FEATURES THAT ARE NOT TO BE DISTURBED BY CONSTRUCTION PROCESSES.

- ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE, INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTER DENSITY.

- SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

#### **CONCRETE AND FOUNDATIONS**

 GARAGE AND CARPORT CONCRETE FLOOR SLABS AND EXTERIOR CONCRETE STAIRS, IF ANY SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 Mpa AT 28 DAYS. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 Mpa AT 28 DAYS.

- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK.)

- THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 Kpa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED. THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.

- LATERALLY UNSUPPORTED FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A QUALIFIED PROFESSIONAL STRUCTURAL ENGINEER.

- ALLOW OPENINGS IN FOUNDATIONS FOR SERVICES AS REQUIRED. DETERMINE REQUIREMENTS PRIOR TO PLACING CONCRETE.

- FORM TIE DEPRESSIONS AND OTHER IRREGULARITIES IN FOUNDATION WALL SURFACES SHALL BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO CREATE RELATIVELY SMOOTH SURFACES.

- CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTOR DENSITY.

- DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL BELOW FINISHED GRADE.

- CONCRETE AND MASONRY STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER. THE OWNER OR BUILDER SHALL TAKE RESPONSIBILITY FOR OBTAINING SUCH DESIGN AND CERTIFICATION AS REQUIRED.

- FRAMING LUMBER SHALL BE No. 1 & 2 SPF UNLESS INDICATED OTHERWISE.

- PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.

- ANCHOR SILL PLATES TO CONCRETE FOUNDATION WITH 5/8" DIAMETER x 8" LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0"

- UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"oc AND INTERIOR WALL FRAMING SHALL BE 2x4 STUDS @ 16"oc.

- INSTALL BACKING AND BLOCKING AS REQUIRED FOR DRYWALL. PLUMBING FIXTURES. HANDRAILS, ELECTRIC FIXTURES, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY INDICATED ON DRAWINGS - CHECK REQUIREMENTS WITH MANUFACTURERS OR SUPPLIERS OF MATERIALS AND EQUIPMENT.

- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"oc BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.

- WHERE JOIST SPANS EXCEED 7'-0", INSTALL 2x2 CROSS BRIDGING OR FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- FLUSH FRAMED WOOD MEMBERS SHALL BE SECURED IN 2,000 LB. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- LINTELS SHALL BE 2-2x10 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

- TRUSSES, MANUFACTURED BEAMS, MANUFACTURED JOISTS, AND STRUCTURAL MEMBERS EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- WOOD EXPOSED TO THE WEATHER TO BE PRESSURE TREATED USING ACQ PRESSURE TREATING. METAL FASTENERS TO BE STAINLESS STEEL.

- GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.

GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.

- BEDROOMS SHALL BE FITTED WITH AT LEAST ONE WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS STATED IN PART 9.9.10 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

 WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

- FENESTRATION PERFORMANCE REQUIREMENTS: CLASS R - PG 20 - DESIGN PRESSURE = +960Pa/-960Pa - WATER PENETRATION RESISTANCE = 220Pa CANADIAN AIR INFILTRATION / EXFILTRATION = A2

- WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

# **GENERAL NOTES** CODES & STANDARDS



### CARPENTRY

### GLAZING

#### FLASHING

- FLASHING SHALL BE PRE-FINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.
- · FLASHING SHALL BE OF A MATERIAL COMPATIBLE WITH ADJACENT MATERIALS OR SHALL BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.
- INSTALL SHEET METAL FLASHING TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.

20% SLOPE OR

MATCH ROOF SLOPE.

ON SLOPED ROOF.

- FORMED DRIP EDGE

VERTICAL LEG AND DRIP

NOT REQ'D IF TERMINATED

- SEAL AROUND ALL OPENINGS TO THE EXTERIOR WITH A NON-HARDENING CAULKING MATERIAL.

- ALL FLASHINGS SHALL HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING (OR WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, MATCH SLOPE.)

- ALL FLASHINGS ARE TO HAVE A FORMED DRIP EDGE (NOT REQUIRED WHERE FLASHING TERMINATES ON SLOPED ROOF.)

- IF FLASHINGS COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED, USE A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE.

- CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNOBORN NPI."

#### ROOFS

- APPLY ROOFING MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- FLAT ROOFS AND ROOF DECKS SHALL BE PROVIDED WITH A MINIMUM 1/4" IN 12" SLOPE DOWN TOWARD A ROOF DRAIN.

 ROOF DRAINS SHALL EMPTY INTO A SEPARATE, TIGHT PIPE PERIMETER DRAINAGE SYSTEM LOCATED AT A DEPTH BELOW FROST PENETRATION.

#### DOORS

- FRAME OPENING 2" WIDER THAN DOOR. FRAME HEIGHT 2 1\2" HIGHER FOR ALL INTERIOR DOORS AND 3" HIGHER FOR ALL EXTERIOR DOORS. BUILDER TO CONFIRM ALL FINAL DOOR SIZES.

 ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUT-LINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.

- EXTERIOR DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.

- EXTERIOR DOORS SHALL BE FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MILLIMETERS.

- UNDERCUT INTERIOR DOORS 1/2" TO AID VENTILATION.

- THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER

- THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.

- INSTALL GUARDRAILS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION IN ALL LOCATIONS WHERE PUBLIC OR PRIVATE WALKWAYS, VIEWING POSITIONS, STAIRWAYS, ETC. ABUT ABRUPT DROPS TO THE ADJACENT GRADE 24" OR MORE IN HEIGHT. THE CONTRACTOR SHALL ENSURE THAT THE MANUFACTURE AND INSTALLATION OF GUARDRAILS MEET THE BC BUILDING CODE REQUIREMENTS FOR LATERAL RESTRAINT.

- ALL STAIRWAYS SHALL BE CONSTRUCTED AS PER THE BRITISH COLUMBIA BUILDING CODE, SECTION 9.8, NOTING IN PARTICULAR THE FOLLOWING:

- SLIP RESISTANT SURFACE TREATMENTS AND FINISHES AS PER ARTICLE 9.8.9.6: - HANDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.7; - GUARDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.8;

- KITCHEN AND BATHROOM CABINETRY INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK DETAILS SHALL BE PROVIDED BY OTHERS.

- INTERIOR FLOOR, CEILING, AND WALL FINISHES; SPECIFICATIONS FOR ELECTRICAL AND PLUMBING FIXTURES AND EQUIPMENT; SPECIFICATIONS FOR APPLIANCES OR APPLIANCE ROUGH-INS: AND SPECIFICATIONS FOR WINDOWS AND DOORS SHALL BE THE RESPONSIBILITY OF THE OWNER OR BUILDER.

- CONCEALED SPACES SHALL BE FIRESTOPPED AS PER SUBSECTION 3.1.11 OR 9.10.16 OF THE BC BUILDING CODE.

- CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS OF THE BC BUILDING CODE.

- CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. INFORM OWNER OR CONTRACTOR OF ANY DISCREPANCIES.

#### MISCELLANEOUS

- THE BUILDER SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.

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PROJECT TITLE BTH CONSTRUCTION LTD. LOT 11 'WINDFIELD' 757 LATORIA ROAD SUBDIVISION LANGFORD, BC					
DRAWING TITLE GENERAL NOTES   CODES & STANDARDS					
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ADDRESS	757 LATOI (Lot	RIA ROAD 11)	
LOT SIZE	321.3m <sup>2</sup> (3,548.4 ft <sup>2</sup> )		
ZONING	R	2	
	PROPOSED	ALLOWED	
LOT COVERAGE			
LOT COVERAGE FOR LOTS LESS THAN 550m <sup>2</sup>	39.70% 127.57m <sup>2</sup> (1,375.28ft <sup>2</sup> )	50% 160.65m <sup>2</sup> (1,774.2ft <sup>2</sup>	
SETBACKS			
FRONT LOT LINE (HOUSE)	3.06m (10.04ft)	3.0m (9.8ft)	
FRONT LOT LINE (GARAGE)	5.53m (18.13ft)	5.50m (18ft)	
REAR LOT LINE	5.10m (16.73ft)	4.50m (14.76ft) RELAXATION APPROVED	
INTERIOR SIDE	1.55m (5.10ft)	1.5m (4.92ft)	
INTERIOR SIDE	2.26m (7.41ft)	1.5m (4.92ft)	
HEIGHT			
HIGHEST ROOF MID POINT	5.80m (19.03ft)	9.0m (29.5ft)	
HIGHEST FLAT ROOF HEIGHT	5.18m (17.01ft)	9.0m (29.5ft)	
FLOOR AREA	1		
TOTAL LOWER FLOOR AREA	66.11m² (	711.56ft <sup>2</sup> )	
TOTAL MAIN FLOOR AREA	121.42m <sup>2</sup> (1,306.9ft <sup>2</sup> )		
GARAGE AREA	41.84m <sup>2</sup> (450.33ft <sup>2</sup> )		
MECHANICAL ROOM AREA	4.80m² (	51.71ft²)	
TOTAL GROSS FLOOR AREA	229.37m <sup>2</sup> (2,468.79ft <sup>2</sup> )		
FLOOR AREA RATIO (FAR)	0.713 <b>229.37m<sup>2</sup></b> (2.468.79ft <sup>2</sup> )		

![](_page_1_Figure_2.jpeg)

![](_page_1_Figure_3.jpeg)

![](_page_1_Figure_4.jpeg)

![](_page_2_Figure_0.jpeg)

![](_page_2_Figure_1.jpeg)

LIMITING DISTANCE	1.55	m	
EXPOSED BUILDING FACE	53.32	sq m	+
ALLOWABLE OPENINGS	8.05	%	
(as per Table 9.10.15.4)			<u>_</u>
ALLOWABLE OPENING AREA	4.29	sq m	, , , , , , , , , , , , , , , , , , ,
PROPOSED OPENINGS	2.96	sq m	

![](_page_2_Figure_5.jpeg)

![](_page_3_Figure_0.jpeg)

![](_page_3_Figure_1.jpeg)

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© COPYRIG THIS PLAN GROUP INC PROPERTY USED IN A DRAWINGS	T AND DESIGN AND ARE C OF CARMA DE ANY FORM W CONTAINED W	IF YOU CAN DRE	AM IT, WE CAN DESIGN IT 60-858-0779 rmadesigngroup.ca rmadesigngroup.ca PROPERTY OF CARMA DESIGN IGHT LAW AND ARE THE SOLE D MAY NOT BE REPRODUCED OR PERMISSION FROM SAME. THE ED FOR THIS PROJECT ONLY.
PROJECT TITLE BTH CONSTRUCTION LTD. LOT 11 'WINDFIELD' 757 LATORIA ROAD SUBDIVISION LANGFORD, BC DRAWING TITLE LOWER FLOOR AND MAIN FLOOR PLAN			
date 04MA	R22	гојест NO. 1048	SHEET NUMBER
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scale SEE DRA	WINGS		

TOTAL EFFECTIVE RSI FOR SKYLIGHT SHAFTS	
Exterior Air Film	0.03
R-20 Batt insulation RS[p=100/[(20/1.19)+(80/3.34)] = 2.45	2.45
6 Mil Poly Vapor Barrier 7/16" OSB Sheathing	0 0.11
1/2" Gypsum Board Interior Air Film	0.08 0.12 <b>PS1=2 79</b>
Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI CEILING BELOW ATTIC	K31-2.79
Asphalt Shingles	0
Building Paper 1/2" Sheathing	0 0
Exterior Air Film R40 Blown Fibreglass Insulation Wood Trusses @ 24" O.C.	0.03 5.38 1 47
<i>RSIp=100/[(11/0.76)+(89/1.67)] = 1.47</i> 6 MIL Poly Vapour Barrer	0
1/2" Gypsum Board Interior Air Film	0.08 0.11 BSI-7.07
Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI CEILING BELOW ATTIC	K3I-1.07
Built-Up Torch-On Roofing	0
Building Paper 3/4" Sheathing Exterior Air Film	0 0.16 0.03
R40 Blown Fibreglass Insulation Wood Trusses @ 24" O.C.	5.3 1.47
<i>RSIp</i> =100/[(11/0.76)+(89/1.67)] = 1.47 6 MIL Poly Vapour Barrier	0
1/2" Gypsum Board Interior Air Film	0.08 0.11 RSI=7 23
Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR EXTERIOR WALLS AGAINST LOV	WER ROOF
	0.00
Exterior Air Film 7/16" OSB Sheathing 2x6 Wood Studs @ 16" O.C. with	0.03 0.11
R-22 Batt Insulation RSIp=100/[(23/1.19)+(77/3.87)] = 2.55	2.55
6 MIL Poly Vapour Barrier 1/2" Gypsum Board	0 0.08
Interior Air Film	0.12 <b>RSI=2.89</b>
TOTAL EFFECTIVE RSI FOR EXTERIOR WOOD FRAMED WALLS A	ABOVE GRADE
Exterior Air Film Fibre-Cement Siding	0.03 0.03
1/2" Rain Screen Air Cavity Building Paper 7/16" OSB Sheathing	0.16 0 0.11
2x6 Wood studs @ 16" O.C. with R-20 Batt insulation	2.36
<i>RSIp</i> =100/[(23/1.19)+(77/3.34)] = 2.36 6 MIL Poly Vapour Barrier:	0
1/2" Gypsum Board Interior Air Film (wall)	0.08 0.12 PSI=2.89
Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR HOUSE TO GARAGE WA	LLS
Exterior Air Film	0.03
2x6 Wood Studs @ 16" O.C. with R-20 Batt Insulation	2.36
<i>RSlp=100/[(23/1.19)+(77/3.34)] =</i> 2.36 6 Mil Poly Vapour Barrier	0
1/2" Gypsum Board Interior Air Film	0.08 0.12 PSI-2.67*
Values from Table A-9.36.2.4.(1)D <b>*Unconditioned enclosure is permitted to be reduced by 0.16</b> *	NJI-2.07
TOTAL EFFECTIVE BSLEOD WALLS BELOW CRAD	
	E
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation:	E 0 0 2.11
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.:	E 0 2.11 0.76 0
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film:	E 0 2.11 0.76 0 0.08 0.11 PSI-3.06
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE	E 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b>
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film	E 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with P31 Batt Insulation	E 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.03 0.08 4.70 0.161
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film	E 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b>
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (C	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> DUTSIDE)
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (C Exterior Air Film Aluminum Soffit	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (C Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSlp=100/[(12/2.43)+(87/5.46)] =	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.161 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0 4.70
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (C Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0 4.70 0.161 0.161 0.161 0.16
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (C Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> ) 0.03 0 4.70 0.161 0.16 <b>RSI=5.05</b>
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (C Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FR Interior Air Film	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.161 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0 4.70 0.161 0.161 0.16 <b>RSI=5.05</b> <b>COST LINE</b> 0.11
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (O Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FR Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FR	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0 4.70 0.161 0.16 <b>RSI=5.05</b> <b>COST LINE</b> 0.11 0 2.11
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C.with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (O Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOC UNHEATED FLOORS ABOVE FR Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FR Interior Air Film 4" Poured-In Place Concrete 2.5" R12 Rigid Insulation Exterior Air Film	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0 4.70 0.161 0.16 <b>RSI=5.05</b> <b>COST LINE</b> 0.11 0 2.11 0.03 <b>RSI=5.25</b>
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (O Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSIp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FR Interior Air Film 4" Poured-In Place Concrete 2.5" R12 Rigid Insulation Exterior Air Film	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> 0.03 0 4.70 0.161 0.16 <b>RSI=5.05</b> <b>COST LINE</b> 0.11 0 2.11 0.03 <b>RSI=5.05</b> <b>COST LINE</b> 0.11 0 2.11 0.03 <b>RSI=2.25</b>
Damp Proofing: 8" Poured-In Place Concrete: 2.5" R12 Rigid Insulation: 2X4 Wood Studs @ 16" O.C.: 6 MIL Poly V.B.: 1/2" Gypsum Board: Interior Air Film: Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER GARAGE Exterior Air Film 1/2" Gypsum Board 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 3/4" Sheathing Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FLOOR OVER UNHEATED SPACE (O Exterior Air Film Aluminum Soffit 2x12 Wood Joists @ 16" O.C. with R31 Batt Insulation RSlp=100/[(13/2.43)+(87/5.46)] = 4.70 3/4" Sheathin Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FR Interior Air Film Values from Table A-9.36.2.4.(1)D TOTAL EFFECTIVE RSI FOR FOUNDATION WALLS Damp Proofing: 8" Poured-In Place Concrete Foundation Wall	E 0 0 2.11 0.76 0 0.08 0.11 <b>RSI=3.06</b> 0.03 0.08 4.70 0.161 0.16 <b>RSI=5.131</b> <b>DUTSIDE</b> ) 0.03 0 4.70 0.161 0.16 <b>RSI=5.05</b> <b>COST LINE</b> 0.11 0 2.11 0.03 <b>RSI=5.05</b> <b>COST LINE</b> 0.11 0.03 <b>RSI=2.25</b> 0 0.08

Values from Table A-9.36.2.4.(1)D

## POT LIGHTS

RECESSED POT LIGHT HOUSINGS MUST BE SEALED TO POLY VAPOUR BARRIER

### ATTIC HATCH (WHEN APPLICABLE)

APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FORM GASKET TO ENSURE POPER AIR SEALING PLUMBING STACKS

PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATING TAPE, OR A RUBBER GASKET AT THE CEILING WALL TO CEILING

ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL

INTERIOR AND EXTERIOR WALL INTERFACE ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING MUST BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING POLY VAPOUR BARRIER OF THE EXTERIOR WALLS

WINDOW, DOORS AND SKYLIGHTS INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRRIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE OPENING/WINDOW SILL PLATES / RIM JOINTS

ALL JOISTS AT CAVITIES MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVER WITH AIR BARRIER MATERIAL

![](_page_4_Figure_11.jpeg)

# NOTES

- (1) ALL WINDOWS TO BE VINYL RAINSCREEN AS PER BCBC. GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS
- (2) WINDOWS / DOORS / SKYLIGHTS AND THEIR INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE WINDOW
- STAIRS: IF SHOWN SHALL HAVE 7 1/2" RISER WITH 10.04" <sup>/</sup> TREAD AND 1" NOSING WITH CONTINUOUS HANDRAIL (SEE STAIR CROSS SECTION)
- (4) TRUSS SYSTEM INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
- 5 CABINETRY INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
- (6) 42" NON CLIMBABLE GUARDRAIL (SEE FLOOR PLAN)
- NON CLIMBABLE CONTINUOUS HANDRAIL AS PER BCBC (SEE STAIR CROSS SECTION)
- 8 DOOR PACKAGE DESIGNS INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY - DOOR SIZES INDICATED ON FLOOR PLANS
- (9) WALL PENETRATIONS : ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY VAPOUR BARRIER

ALL MECHANICAL, PLUMBING OR ELECTRICAL COMPONENTS WITHIN THE EXTERIOR WALLS AND GARAGE TO HOUSE WALL MUST BE INSULATED TO SAME EFFECTIVE LEVEL AS REQUIRED FOR THE WALL

IF ELECTRICAL PANEL IS LOCATED IN GARAGE WALLS, USE RIGID INSULATION BEHIND CAVITY TO MAINTAIN SAME EFFECTIVE LEVEL AS GARAGE WALLS

-	4" DRAINTI
D2	FOOTINGS ADEQUATE PENETRAT
D3	8" CONCRE 2 #4 BAR C
<b>D</b> 4	4" Concr Around F Compacte Insulatio
D5	SLAB FOU

JNDATION WALL: THERMAL BREAK 50% OF THE REQUIRED INSULATION THICKNESS - SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL FD6 UNDISTURBED NON-ORGANIC SOIL

F1 FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT.. BELOW) ON 2×12 FLOOR JOISTS @ 16" OR 12" O/C C/W 2×2 X-BRIDGING @ 7.0' O/C (MAX) (SEE STRUCTURAL ENGINEER DRAWINGS) FINISHED FLOORING ON 19/32" ORIENTED STRAND BOARD (NAILED & GLUED TO FLOOR STRUCT. BELOW) ON 2×12 FLOOR JOISTS @ 16" OR 12" O/C

JOIST CAVITY C/W

F2

### PLEASE READ FOR DETAILS

![](_page_4_Figure_32.jpeg)

#### PRINCIPAL HEAT SOURCE DUCTED HEAT PUMP WITH HRV

SPECIFICATION AND INSTALLATION TO BE PROVIDED BY QUALIFIED PROFESSIONAL

![](_page_4_Picture_35.jpeg)

# **CONSTRUCTION ASSEMBLIES AND NOTES**

# FOUNDATION CONSTRUCTION

FD1 INSTALL PERIMETER DRAIN SYSTEM ILE WITH 6" OF ROCK OVER

> SHALL EXTEND TO SUITABLE UNDISTURBED OR ELY COMPACTED SOIL BELOW THE FROST TION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK)

ETE WALL ON 8"X16" CONCRETE FOOTINGS CONT. TYP. ANCHOR BOLTS @ 4'

RETE SLAB WITH RIGID INSULATION 1.2M (3'-11") PERIMETER ON 6 MIL. POLY VAPOUR BARRIER ED GRANULAR FILL - ENSURE CONTINUITY OF ON AS PER BCBC 9.36.2.5(2)

## **FLOORING SYSTEM**

C/W 2×2 X-BRIDGING @ 7.0' O/C (MAX) PROVIDE R-31 F/G BATT INSULATION IN

11/16" ORIENTED STRAND BOARD VENTED SOFFIT (TO OWNERS SPEC'S)

TO ALL SUSPENDED FLOOR AREAS

# WALLS TYPES

- W1 DOUBLE GLAZING ENERGY STAR LOW "E" RATING THERMAL BREAK FRAMES GLAZING WITHIN 3 FEET FROM EXTERIOR DOORS
- OR ADJACENT TO TUBS OR SHOWERS TO BE SHATTER PROOF GLAZING WINDOWS AND DOORS TO TO COMPLY WITH BCBC 9.7. AND BCBC TABLE C-5
- EXTERIOR FINISHES (REFER TO ELEVATIONS) **W2** 2" WIDE TREATED PLYWOOD STRAPPING CAPILARY BREAK (10mm MIN THICKNESS) BUILDING WRAP 7/16" OSB SHEATHING 2X6 STUDS (SEE STRUCT FOR SPACING) R-20 BATT INSUALTION 6 MIL POLY'N. V.B. 1/2" GYPSUM BOARD
- GARAGE WALLS ADJACENT TO INTERIOR SPACES 1/2" GYPSUM BOARD (INTERIOR SIDE) 2X6 STUDS (SEE STRUCT FOR SPACING) **R-20 BATT INSULATION** 6 MIL POLY'N. V.B. 5/8" GYPSUM BOARD (GARAGE SIDE)
- INTERIOR PARTITION W4 1/2" GYPSUM BOARD BOTH SIDES MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS 2X4 STUDS (OR 2X6 IF SHOWN)
- W5 2X4 FRAMING 16" O.C. TYP. 1/2" DRYWALL FINISH
- W6 2X6 FRAMING 16" O.C. TYP. 1/2" DRYWALL FINISH (NOT SHOWN)

# **ROOFING SYSTEM & COMPONENTS**

- **R1** CONTINUOUS GUTTERS
- **R2** VENTED SOFFITS ROOF OVERHANGS
- R3 ASPHALT SHINGLES, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), ENGINEERED TRUSS DESIGNED BY SUPPLIER @ 24" O.C. TYP.
- PROVIDE ROOF VENTS : VENT 1/150 USING R4 SHINGLEVENT II RIDGE VENT
- **R5** EAVE PROTECTION TO 12" BEYOND HEATED WALL
- R6 ENG. TRUSSES AS PER MANUF. SPECS, 3/4" PLYWOOD OR EQUAL, TORCH - ON ROOFING. SLOPE TO DRAIN

![](_page_4_Figure_63.jpeg)

![](_page_4_Figure_64.jpeg)

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CA	250-858-0779 Www.carmadesigngroup.ca info@carmadesigngroup.ca				
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PROJECT TITLE BTH CONSTRUCTION LTD. LOT 11 'WINDFIELD' 757 LATORIA ROAD SUBDIVISION					
LANGFORD, BC					
DRAWING TITLE CROSS SECTION A-1 AND STAIR DETAIL					
date 04MA	R22	project no. 1048	SHEET NUMBER		
drawn by Ni	H	REVIEWED BY CL	A 04		
scale SEE DRA	AWINGS		A.U4		

![](_page_5_Figure_0.jpeg)